



Town of Marshall

Historic Courthouse Renovation to Cultural and Community Center

2 N. Main Street, Marshall, NC 28753

June 15, 2026



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Executive Summary

The Town of Marshall is proposing a renovation to the existing courthouse at 2 N. Main Street, Marshall, NC 28753. Originally constructed in 1907 and on the National Register of Historic Places, the design repurposes the historic courthouse building into a cultural and community center. The courthouse renovation will facilitate the new program needs as well as current operational, accessibility, life safety, and code requirements. Due to extensive flood damage caused by Hurricane Helene, the building requires extensive repairs and renovation to the foundation, basement, and ground floor. Prior to Hurricane Helene, this courthouse was the oldest running courthouse in the state of North Carolina.

A key feature of the new program includes repurposing the existing courtroom into a performance hall for local bluegrass bands, theater performances, meetings, and the symphony to perform. Specific finishes, plan layout changes, and engineering were proposed to accommodate this new use. Office space on the ground floor is being reused into a gallery space for opportunities like local artists exhibitions or displaying of historic blueprints, and flexible classroom and multipurpose space for community's needs.

The project will require a stormwater management component to protect the building's longevity. The proposed strategy includes replacing the existing foundation walls, infilling the basement, and pouring a new main level floor slab to seal the basement off. This process will require the complete, staged demolition and reconstruction of the first floor to restore the historic nature and overall layout of the original building. A separate study is being proposed to address run-off management improvements uphill from the structure. The goal of this concurrent study is diverting large amounts of stormwater away from the building that currently pours through the foundation.

In addition, the renovation will include targeted accessibility and code compliance upgrades throughout the facility. Improvements include renovations to entrance vestibules to provide accessible entry features such as automatic door operators, accessible routes, and compliant egress conditions. Existing non-compliant restroom facilities will be renovated and reconfigured to meet current accessibility and code requirements. Additional ADA-compliant toilet rooms will also be constructed to satisfy required plumbing fixture counts and occupancy demands associated with the building's new use classifications. These improvements will require selective demolition and reconfiguration of portions of the existing floor plan to provide compliant restroom layouts, maneuvering clearances, updated fixtures, and accessible accessories.

Additional upgrades will include modifications to interior corridors, door openings, hardware, and circulation routes to improve accessibility and code compliance throughout the building. Site improvements, including modifications to the entrance plaza, accessible sidewalks, curb ramps, and entrances, and lighting upgrades, are intended to support the Town's revitalization of the historic Madison County Courthouse and improve safe access to the facility.

The proposed architectural modifications and floor plan reconfiguration will also require associated upgrades to the building's existing mechanical, electrical, plumbing, fire protection, and life safety systems. Existing MEPFP systems will require total replacement due to the damage sustained by



Hurricane Helene as well as to support the renovated building layout, updated occupancies, accessibility improvements, and current code requirements.

The project will also include updates to deteriorated interior finishes, millwork, and other building features to improve the overall functionality, appearance, and long-term usability of the facility. These additional modernization efforts will be funded through the Community Development Block Grant (CDBG) resources as they are necessary to repair flood damage and restore the historic nature of the original courthouse.

The proposed improvements directly support the requirements of the current North Carolina Existing Building Code, North Carolina Accessibility Code, and other applicable codes and guidelines by improving physical accessibility and ensuring equal access to municipal services and community programming for all residents. Upon completion, the project will provide the Town of Marshall with a safer, more accessible, and more functional public facility that better serves residents and the broader community.



Site / Civil Modifications

The potential site / civil improvements summarized below are intended to support the Town's revitalization of the historic Madison County Courthouse into a Cultural and Community Center, open the courthouse grounds to the public, and integrate the property with the downtown streetscape. Specific elements would be advanced subject to Town direction, available budget, and ongoing coordination with CPL. Where pursued, work would be developed in accordance with the 2010 ADA Standards for Accessible Design, ICC A117.1, NCDOT Roadway Standard Drawings and Specifications for work within the public right-of-way, and Town of Marshall local development standards. The building's historic character and location within the Marshall Main Street Historic District would be respected throughout the design.

KCI conducted a site visit on May 7, 2026, to observe accessible exterior site elements: the entrance plaza along North Main Street, the front walks and stairs, the existing accessible ramp, the east-side access drive, exposed portions of the building foundation, and visible above-grade utility appurtenances. No subsurface investigation, drainage study, structural assessment, or hazardous-materials survey was performed. Element-level observations and condition ratings are provided in the accompanying Field Assessment Checklist.

Entrance Plaza, Perimeter Fencing, and Site Restoration



Figure 1 (left): view of the courthouse from across North Main Street showing perimeter fencing, monuments, and street-parking frontage.

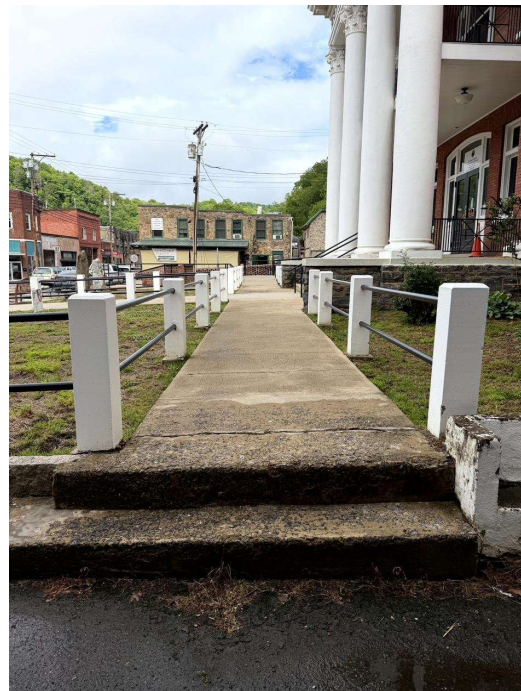


Figure 2 (right): view along the entrance plaza perimeter showing the concrete-post and metal pipe railing fence, wrought-iron benches, and deteriorated stone curb edge at the sidewalk.



The entrance plaza is enclosed by a perimeter fence of painted square concrete posts connected by black metal pipe rails. Per Town direction, the fencing, along with the existing site benches and sections of the deteriorated stone curb at the sidewalk edge, would be removed to open the entrance plaza as a publicly accessible lawn and gathering area connecting to the North Main Street sidewalk. Following demolition, the lawn could be regraded for positive drainage away from the building and re-established with topsoil, new sod (or seed and mulch), and upgraded ornamental plantings consistent with the historic character of the property.

New paving and hardscape could be introduced within the entrance plaza as a welcoming courtyard and open gathering area supporting outdoor events associated with the renovated Cultural and Community Center programming. Potential materials include accessible pedestrian pavers and decorative concrete or stone paving at primary gathering areas. The extent, materials, and configuration would be developed during schematic design subject to Town direction.

Site furnishings could be replaced with new benches sized for gathering use, and other furnishings to be coordinated with the Town during design, selected for compatibility with the historic character of the property and downtown streetscape. Refurbishment of existing benches is not anticipated; the existing entrance plaza benches would be removed and disposed of as part of entrance plaza demolition.

Monument and Historical Marker Relocation



Figure 3: view of the existing monuments and articles in the entrance plaza, including the Charters of Freedom installation (foreground, with the United States seal medallion and brass document plaques on brick pedestals) and two rock monuments (background right).



Multiple monuments and historical markers are presently located within the entrance plaza, including two rock monuments (plaques affixed to large stone monuments), state historical markers (David Vance and Buncombe Turnpike) on metal posts, and the Charters of Freedom installation on brick pedestals. Per Town direction, all monuments are to be moved from the entrance plaza. State historical markers identified by the Town to remain on site could be re-installed at a location to be coordinated with the Town on new post-mounts, with new footings or base pads detailed as required. The Charters of Freedom installation, the associated brick pedestals, and the two rock monuments are to be removed for transport to the new County Courthouse. The existing flag pole presently located in the entrance plaza will be either removed or relocated on site, with final disposition to be coordinated with the Town; work would include removal of the existing foundation, patching and restoration of the disturbed area, and, if relocation is selected, a new concrete foundation, anchor bolts, and reinstallation at the new location. Associated KCI work could include patching and restoration of disturbed areas remaining after the County's removal, and any required temporary protection during construction. Removal, transport, and reinstallation of the Charters of Freedom installation, brick pedestals, and rock monuments themselves, including any specialty rigging, crating, and coordination, are assumed to be performed by or on behalf of Madison County as part of the County's relocation to the new County Courthouse.

Front Walks, Main Center Stairs, New West-Side Stairs, and Accessible Ramp



Figure 4: view of the existing accessible ramp on the west side of the building entrance. The existing ramp does not meet current accessibility standards and will be demolished. A new code-compliant ADA ramp will be constructed on the side of the building, and a new set of stairs will be provided from the entrance plaza up to the entrance in the area of the demolished ramp.



Pedestrian access to the front entry is from a single curb ramp and detectable warning location on the Main Street sidewalk. Visitors enter the entrance plaza via a concrete walk and reach a decision point from which they can continue up the main center stairs, take the existing accessible ramp west of the stairs, or cross the entrance plaza to the monuments. The main center walk is in fair overall condition, with localized cracking, joint deterioration, and surface settlement. The transition from the public sidewalk is a stepped stone curb — not a code-compliant accessible curb transition — that exhibits cracking, displacement, and subgrade erosion. The concrete main center stairs and existing handrails to the building entrance are in fair condition.

The main center front walk and stair approach could be replaced to address observed condition and to coordinate with adjacent accessibility improvements. Potential work includes removal and reconstruction of the stepped stone curb at the street edge to provide an accessible curb transition, a new walk meeting accessibility requirements for running slope, cross-slope, and clear width per the cited standards, and minor repair and refinishing of the concrete treads, risers, and handrails at the main center stairs (full replacement only if required by observed condition during design). NC Geodetic Survey benchmark MAD 16 (set 2006) was observed in the adjacent sidewalk and would be preserved in place during construction.

The existing accessible ramp does not meet current accessibility standards and will be demolished. CPL has identified that an additional code-required ADA exit will be added on the side of the building. A new code-compliant ADA access will be constructed on the west side of the building to serve the new ADA exit. The new access will be integrated with the new building exit landing (by CPL). It will be connected to either the entrance plaza or Main St. accessible route. In addition, a new set of stairs will be provided from the entrance plaza up to the entrance in the area of the demolished ramp, providing a direct pedestrian connection between the entrance plaza and the building entrance in coordination with the main center stairs. The new west-side stairs will include concrete treads and risers, compliant handrails, and integration with the entrance landing (in coordination with CPL). The remaining area associated with the demolition of the existing ramp, beyond the footprint of the new west-side stairs, is to be incorporated into the entrance plaza open space and courtyard area, with grading and restoration coordinated with the surrounding entrance plaza work.



East-Side Access Drive Improvements



Figure 5: view of the east-side access drive showing pavement deterioration, ponding along the foundation interface, vegetation encroachment, and lack of positive drainage. A basement window / vent opening is visible at grade in the stone foundation wall.

An access right-of-way runs adjacent to the east side of the building, providing service access along the east face and abutting a steep, heavily vegetated slope. The existing asphalt pavement is in fair-to-poor condition with localized surface deterioration, ponding, and longitudinal cracking. Surface drainage is uncontrolled, with downspouts discharging to grade and ponding evident at the foundation interface. Several at-grade utility appurtenances, downspouts, exposed conduit, and a meter base are located along the east face. The stone foundation is exposed at grade, with small basement window / vent openings visible.

The east-side access drive could be patched and resurfaced to address pavement deterioration and provide positive drainage away from the foundation. Limits would be coordinated with the building team given proximity to the foundation, basement window / vent openings, and exposed utilities. Foundation stonework and the area immediately around the foundation would be coordinated with the building (architectural / structural) team.

Utility Service Coordination

Per CPL, the renovated building will be sprinklered and existing utility laterals are to be severed and capped at the building entry points. Civil work would include coordination of a new fire service tap from the existing North Main Street public water main to support the renovated, sprinklered building; severance and capping of existing water, sewer, gas, electric, and communications laterals at the right-of-way line; pavement and sidewalk cut, restoration, and traffic control on North Main Street for new service installation; and coordination with NCDOT encroachment, Town water and sewer, and the applicable private utility owners. The Reduced Pressure Zone (RPZ) backflow preventer is assumed to be installed inside the building riser room per CPL; fire service sizing and interior fire protection design are by others. A critical confirmation item prior to design is verification of the existing public water main



on North Main Street. The Town indicates the existing line is believed to be 6-inch. Verification that the available flow and residual pressure are adequate to serve a new sprinkler system in the renovated building is needed. Utility as-builts and a current flow testing results are being requested from the Town to confirm. In addition, a new fire hydrant in the public right-of-way along North Main Street is likely required to support the renovated, sprinklered building; final fire hydrant location and number to be coordinated with the Town fire marshal and the building fire protection designer. (Note: a separate, future Town project may upsize the existing public water main on North Main Street; that work is not pertinent to this project and is mentioned here only for coordination awareness.)

Site Lighting



Figure 6: example of a period-appropriate, pedestrian-scale decorative light fixture currently in place on the nearby French Broad River bridge in Marshall — representative of the historic-character lighting style that could be considered for the courthouse entrance plaza and approach.

New pedestrian-scale pedestal site lighting could be provided along the entrance plaza, the main center walk, and the new side-of-building ADA ramp and accessible route. Fixtures would be period-appropriate and consistent with the historic character of the 1907 courthouse and downtown Marshall streetscape, including the decorative lighting precedent established on the adjacent French Broad River bridge. Pole heights, spacing, lumen output, and coverage would be developed to provide compliant illumination supporting evening use of the entrance plaza without introducing light trespass to adjacent properties. Service, controls, and load coordination would be developed with CPL's electrical engineer of record.

Site Furnishings, Directional Signage, and Restoration

Site furnishings (benches and other furnishings to be coordinated with the Town during design) could be replaced with new units sized to support gathering use of the entrance plaza. Directional and accessible-route signage could be provided per 2010 ADA §216 to direct visitors to the accessible ramp, entries, and on-street parking. Disturbed areas would be restored with topsoil, sod (or seed and mulch), and ornamental planting consistent with the historic character of the property.

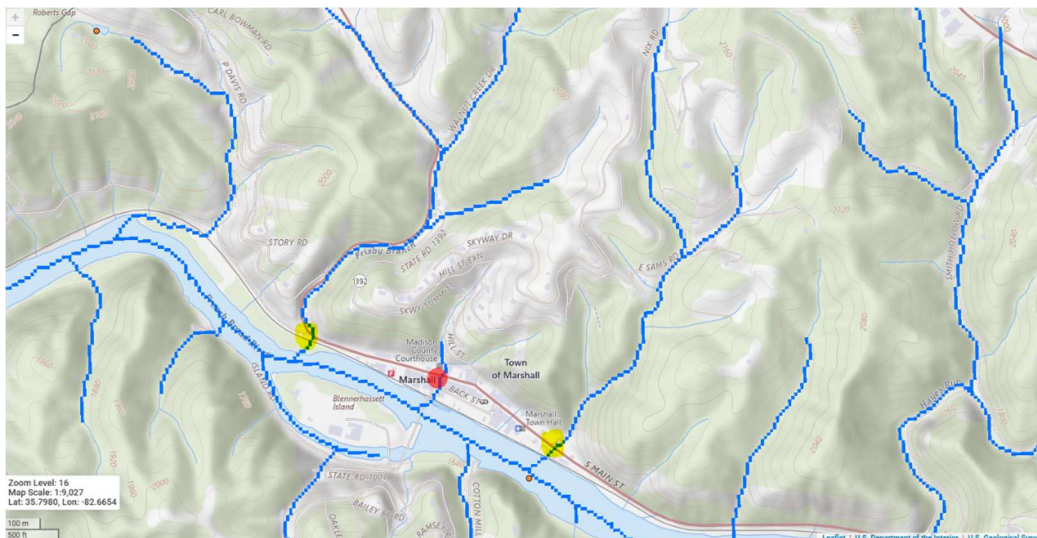


Parking

No on-site parking is provided as part of the courthouse renovation. Visitors would continue to use on-street parking along North Main Street. Coordination with the Town and NCDOT on the potential designation and striping of one or more accessible on-street stalls near the building entry could be considered, subject to Town direction and NCDOT acceptance, to support the renovated public occupancy. The Town's separately planned off-site public parking lot a couple hundred yards from the courthouse is anticipated to provide additional capacity; design of that lot is not part of KCI's scope.

Stormwater / Site Drainage

The Main Street corridor within the Town of Marshall has a history of flooding during intense rain events, as seen in the extreme event of Hurricane Helene. The Madison County Courthouse site sits at the downstream end of a steep, vegetated upland drainage area of approximately 20 acres that contributes runoff directly toward and against the building. The basement of the courthouse has historically experienced flooding during significant storm events, including during Hurricane Helene. These issues are largely due to the town's proximity to the French Broad River, where three major tributaries cross Main Street conveying runoff from the upper watersheds through the developed town and to the river. Steep topography, numerous stream channel encroachments, and the general confined nature of the roadway corridors further compound the risk of flooding to the existing businesses and town infrastructure. The below image shows the location of the Madison County Courthouse in red, as well as two additional major stream crossings in yellow.



KCI was not originally scoped to provide an assessment or recommendation regarding the interception, diversion, or management of this upland runoff around the building, and no stormwater modeling, drainage study, or grading analysis to address the receiving drainage area has been performed as part of this report. During recent coordination with CPL, the project team identified that stormwater management around the building could be considered as part of the overall revitalization in support of the CDBG-DR grant application and the Town's goal of resiliency for the renovated facility, though the



site conditions and constraints are very complex and have potential to yield costly improvement solutions.

Due to the complex nature of the flooding conditions within the Town and the many stakeholders involved, KCI recommends an initial Hydrology and Hydraulics Study. A study of this nature would provide the Town with a comprehensive hydraulic evaluation of various flood conditions within the watersheds to more effectively identify flood mitigating scenarios and potential projects that would bring the Town long-term improvement to the flooding conditions on Main Street. Taking this initial step is crucial in allocating funds and resources to projects and locations within the Town that will provide the most flood reduction and overall benefits.

Limitations and Coordination Items

This report is based on visual observations made during a single site visit on May 7, 2026, supplemented by information provided by the Town and CPL and publicly available sources. No subsurface investigation, structural assessment, hazardous-materials survey, or detailed utility investigation was performed; stormwater / site drainage observations and recommendations are summarized in the dedicated section above. Specific items summarized above are potential improvements identified by KCI and CPL, and would be advanced subject to Town direction, available budget, and ongoing coordination as the design progresses. Cost estimating for the items summarized in this report and in the accompanying Field Assessment Checklist is being performed separately by others.

Items identified for further coordination as the design advances include: coordination with CPL on the new side-of-building ADA exit and the new accessible ramp serving it (exit landing dimensions, door threshold, handrail integration, and any building-side structural modifications required to receive a code-compliant exit landing); confirmation of the new ramp alignment, length, slope, and connection back to the entrance plaza accessible route using current survey; coordination with CPL on the new west-side stairs (building entrance-landing tie-in, handrail integration, and any building entrance-level modifications required to receive the new stair landing); coordination with CPL's electrical engineer of record on site-lighting circuiting, controls, and panel capacity; an ALTA / NSPS Land Title Survey (boundary, topographic, and utility) of the property and adjacent right-of-way, including the public right-of-way along North Main Street and the east-side access right-of-way, required to advance design (the NC Geodetic Survey monument MAD 16 should be located and shown on the survey for preservation); coordination with the State Historic Preservation Office (SHPO) and any applicable local historic-preservation review processes, particularly with respect to demolition of the existing accessible ramp, construction of the new west-side stairs, perimeter fencing, and entrance plaza features; confirmation of the FEMA Special Flood Hazard Area Zone AE floodplain designation against the current effective FIRM panel during design; and anticipated permitting including a Town of Marshall site development / building permit, NCDOT encroachment along North Main Street for any work within the state-maintained right-of-way, and NPDES land disturbance coverage if the total disturbed area exceeds the applicable threshold.



Architectural Modifications

Building Modifications Design

Please see attached Appendix B with demolition drawings and conceptual plan layouts.

Main Entrance

The existing main entrance consists of original wood double doors with hardware that does not comply with current accessibility standards. Due to the age of the doors and significant wear and deterioration, replacement of the entrance doors is recommended.

The existing main entrance currently serves as the building's only exit. Per Table 1006.3.1 of the 2018 North Carolina Building Code, a minimum of two exits is required for this building. To achieve compliance, a second exit is proposed along the west exterior wall beneath the existing stairwell. The proposed exit discharge path will connect to the existing fire escape landing and continue to a public way.



Figure 7: Photos of the original main entrance doors with special attention to visible water damage including rotten wood on the doors and framing elements, visible fissures in wood panels, large gaps, and rotten subfloor elements.

Second Floor Large Assembly Space

The existing second-floor assembly space is currently utilized as a courtroom and classified as an A-3 occupancy in accordance with the 2018 North Carolina Building Code (NCBC). The proposed renovation will convert the space into a theater use, classified as an A-1 occupancy under the 2018 NCBC.



Per Table 1012.2.1 of the 2018 North Carolina Existing Building Code, the relative hazard classification associated with the occupancy change remains equivalent. However, Section 903.2.1.1 requires an automatic sprinkler system for A-1 occupancies when the fire area is located on a floor other than the level of exit discharge. As a result, installation of a compliant automatic sprinkler system will be required for the proposed occupancy classification.

Further design and consideration should be given to the acoustics of the performance hall. It is recommended that one to two layers of drywall be added to the interior walls that connect to adjacent spaces for sound isolation. Acoustical panels would be beneficial to add to the ceiling and walls. It would be appropriate to consult with an acoustician for design recommendations to meet the acoustical goals of the space.



Figure 8: Interior of the existing courtroom and proposed performance hall space.

Interior Door, Room, and Corridor Accessibility Improvements

Existing door openings, room dimensions, and corridor configurations on the main floor generally provide the required maneuvering clearances and accessible approaches. However, existing door hardware does not comply with current accessibility and life safety standards.

Existing doors, frames, and hardware will be modified or replaced as necessary to provide compliant accessibility clearances and egress conditions. Scope of work includes installation of accessible hardware, revisions to door swings and approaches, selective wall modifications, and associated finish repairs in affected areas.

Existing Stairwells

The building contains two open stairwells located near the center of the east and west exterior walls. In accordance with Section 1023, 1019.3 of the 2018 North Carolina Building Code, interior exit stairways are required to be enclosed. The existing stairwells will therefore require construction of compliant enclosures with a minimum 1-hour fire-resistance rating. The west wall stairway will have an exit directly to the outside, connecting to the existing fire escape concrete pad then to a public way. However, the east exterior wall stairway will exit in the lobby, then out the main front lobby doors. Provide that Section 1028, exception 1 and 1.3 3 of the 2018 North Carolina Building Code are met.

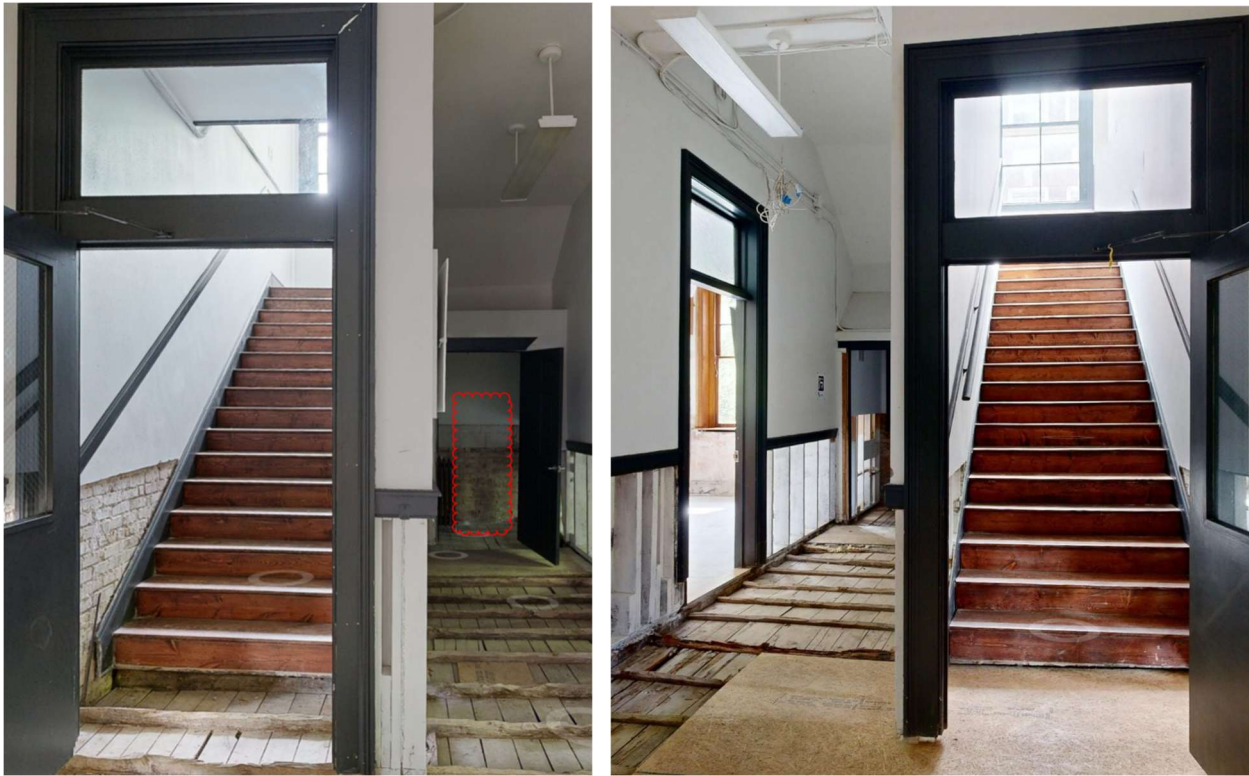


Figure 9: Existing plan West stairway with highlighted location of proposed accessible exit (Left). Existing plan East stairway (Right).

Interior Balcony Level

The existing balcony does not comply with current building code requirements and will require further evaluation and modifications to achieve compliance with applicable structural, accessibility, and life safety standards. The existing balcony, which is bleacher style seating, consists of three-tiered seating with two aisles splitting the rows into three parts. This system projects down from the main third floor elevation height. Presently there are no handrails at the front end of the balcony. Presently, space between back of seat and front of seating does not comply with standard widths. The riser depths are greater than the maximum riser depths required.

In addition, the existing balcony does not have an elevator, so it is not accessible. Here the goal would not have to include an elevator to this level. Reducing the building occupant load to less than 50 occupants and considering it as an accessory seating area to the primary assembly space located on the main level, stating that accessible seating and the primary function area are provided at the main floor level, would help in this. In addition to this, Section 410.7 of the 2018 North Carolina Existing Building Code, accessibility improvements are required only to the maximum extent technically feasible. Installation of a new elevator to serve the existing balcony level is considered technically infeasible due to the existing structural limitations, space constraints, and impact to the historic fabric of the building. Additionally, the installation of a new elevator would constitute a disproportionate cost relative to the scope of the proposed alteration work.

Therefore, an accessible route to the balcony level is not proposed. The primary assembly functions, accessible seating accommodations, and public accessible areas remain fully accessible at the main



level in compliance with the intent of the Existing Building Code and accessibility provisions applicable to existing historic facilities.



Figure 10: Existing interior balcony level.

Toilet Room Renovations and ADA Improvements

Existing restroom facilities contain non-compliant layouts, fixtures, finishes, and accessories that do not meet current accessibility or plumbing code requirements. Additionally, due to damage sustained during the Helene event, existing floor and wall finishes, partitions, plumbing fixtures, accessories, doors, and frames have deteriorated beyond repair and will require replacement.

Additional accessible toilet rooms will be constructed to satisfy accessibility requirements and plumbing fixture counts associated with the building's proposed occupancy and use. New gang restrooms are proposed on the second floor to support the primary assembly use within the renovated courtroom/theater space.

New restroom construction will include gypsum board partitions, wood doors with hollow metal frames, porcelain floor and wall tile, accessible plumbing fixtures, grab bars, mirrors, dispensers, and related accessories. New ceilings, wall repairs, and epoxy paint finishes will also be installed.

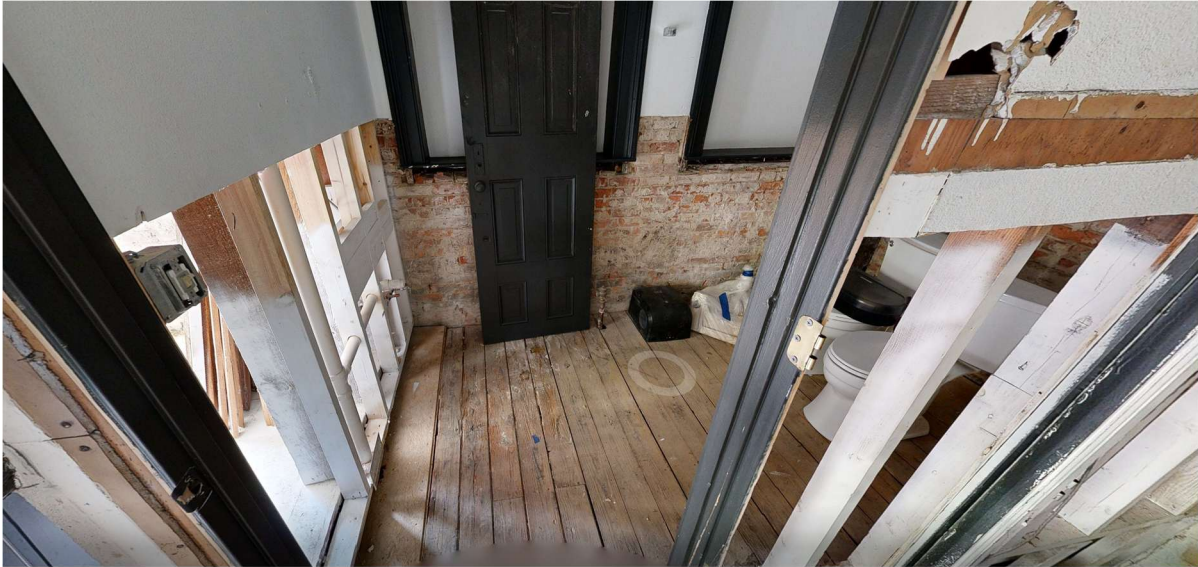


Figure 11: Existing restroom on main level.

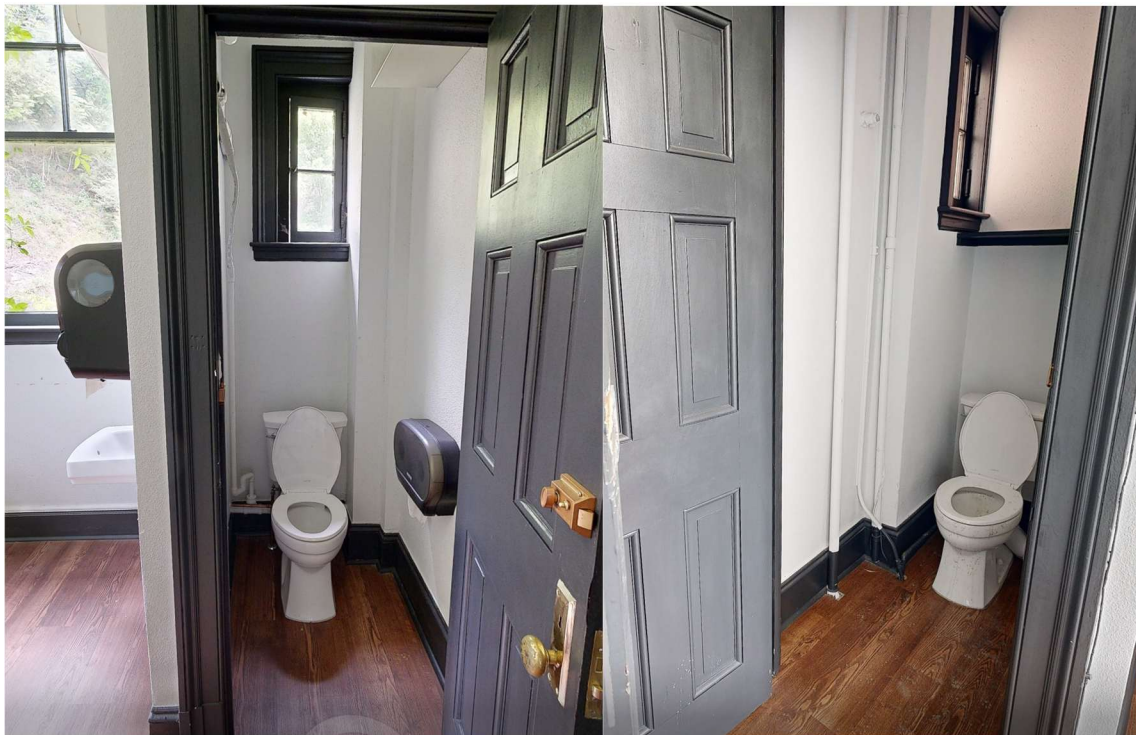


Figure 12: Existing restrooms on the second level, plan East of the existing courtroom.



Fourth Level Spaces

These spaces are presently used as offices; however, these spaces will be utilized solely for mechanical and electrical equipment rooms and will not function as occupied assembly space.

Exterior Windows

The existing exterior windows consist of large, single-hung wood-framed units with single-pane glazing. Several windows are currently inoperable and exhibit significant deterioration due to age, weather exposure, and long-term wear and tear.

In order to comply with current energy efficiency and building performance requirements, the existing windows will require replacement with insulated window assemblies. Because the building is listed on the National Register of Historic Places, the replacement windows will be designed to maintain the existing historic appearance, proportions, profiles, and architectural character of the original windows. The proposed replacement units will match the existing style and design to preserve the historic integrity of the building while improving functionality, durability, and thermal performance.



Figure 13: Example of existing single pane windows to be replaced.

Basement

The existing basement, which is located at the rear bottom half of the building, presently houses the boiler for the building. The exterior walls which appear to be stacked stone - Ashlar masonry: stones roughly squared and cut, typically done in the early 20th century. Mortar typically used during this period was lime mortar. Over time the mortar has weakened due to numerous flooding over time in preventing water infiltration. Now, to redirect water out of the building a trough was constructed at ground level along the exterior wall. In addition to this, the basement has flooded numerous times in the past. Due to the likelihood of future water issues, it has been decided to relocate the boiler to another level, remove the stair access to the basement, build new foundation walls with waterproofing, and completely fill in the basement level.



Figure 14: Examples of water infiltration and related damage in the basement/foundation walls.

Ceiling ACT / Gypsum Ceilings

The original ceiling to the building consists of a plaster ceiling on wood slants. New ceilings are proposed throughout the building. Main corridors, lobby, and restrooms will have dropped drywall ceilings. Janitor, Offices, Gallery, Warming Kitchen and connecting corridors will have dropped lay-in ceilings.

Existing Floor Assembly

Looking at an existing opening in the ceiling, based on the visible conditions, the following components and construction elements are observed: Plaster Ceiling System, Wood Lath Strips, Rough-Cut Wood Joist which seems to be at 16" O.C. Wood plank decking as a subfloor installed at 45 degrees to the Wood Joist. Then a finished wood flooring system above. The exposed assembly appears to be original historic construction with signs of age-related deterioration, previous repairs, and potential moisture-related damage. Further investigation by a structural engineer and comprehensive evaluation of the framing, moisture conditions, and material integrity is recommended prior to renovation or restoration work.



Figure 15: Example of existing floor construction (Top) with Wood Lath Strips and Rough-Cut Wood Joists. Example of existing sub floor (Bottom) including Wood plan decking installed at 45 degrees to the Wood Joists.

Structural Modifications

SKA Consulting Engineers, Inc. (SKA) is pleased to submit this report of general visual structural assessment for the Marshall Courthouse. The following sections summarize the general project information and building conditions observed on April 16, 2026.

Marshall Courthouse was originally constructed in 1906-1907. The architect for the project was Richard Sharp Smith of the firm Smith & Carrier. No original drawings were provided to SKA as part of this scope of work.



SKA was furnished with a copy of “Renovations to the Madison County Court House – Marshall, NC – Sheets 1-11”, prepared by Woodard and Roberts Architects. The first page is noted as “Check Set” and there is no apparent date on the drawings. These drawings detail plans for the demolition and removal of an existing roof system and cupola framing and the construction of new roof system and cupola framing.

Visual Assessment Description

SKA conducted a limited visual assessment of the existing accessible and visible building structural components on May 7th, 2026. The visual assessment was primarily conducted from the interior and exterior walking surfaces. Please note that observations were specifically limited to visually accessible portions of the building superstructure that were not concealed by finishes or other obstructing elements. It is expected that our limited visual assessment did not reveal all existing structural compositions and/or conditions. Existing structural compositions and conditions may differ in locations beyond reasonable visual access.

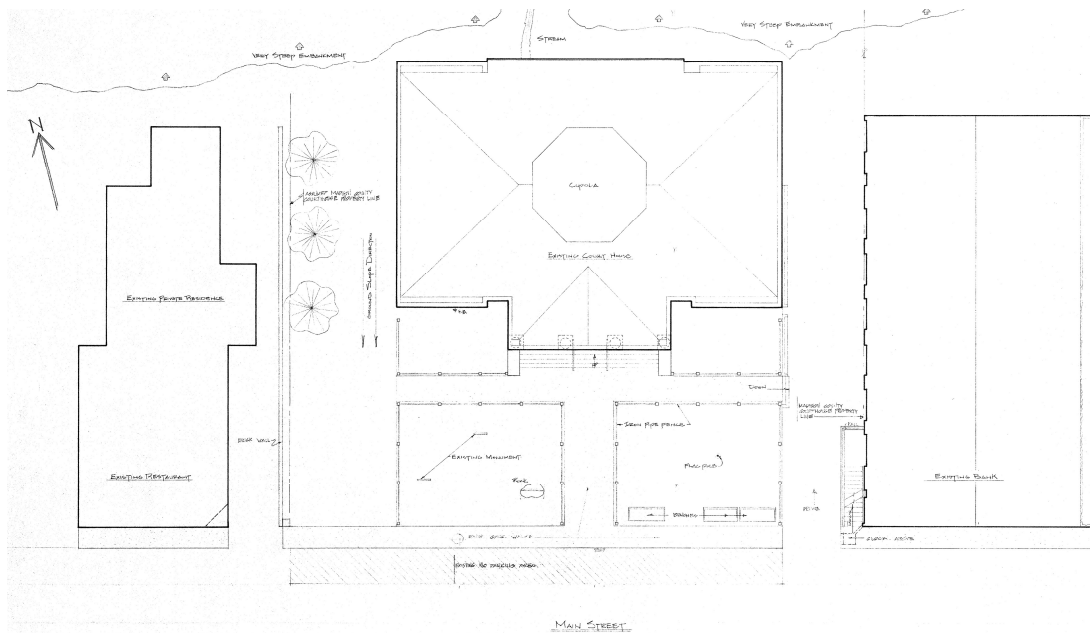


Figure 16: Site Plan (obtained from Renovations by Woodard and Roberts Architects)

For purposes of this report, we will consider the structure to have five levels as follows:

- Basement Level
- 1st Floor
- 2nd Floor
- 3rd Floor
- Attic



First Floor

Upon entering front door of the courthouse on the first floor, it is immediately observed that the finished floor and subfloor (combination of horizontal plank floorboards and sheathing) has been removed (Ref. Figure 17). Open wood joists can be observed and some temporary OSB sheathing has been laid for walking purposes (Ref. Figures 17 & 18). Additionally, the bottom 3-4 feet of wall finish has also been removed below wainscot trim (Ref. Figure 17 – left side) (Ref. Figure 18 & 19 – left & right sides).

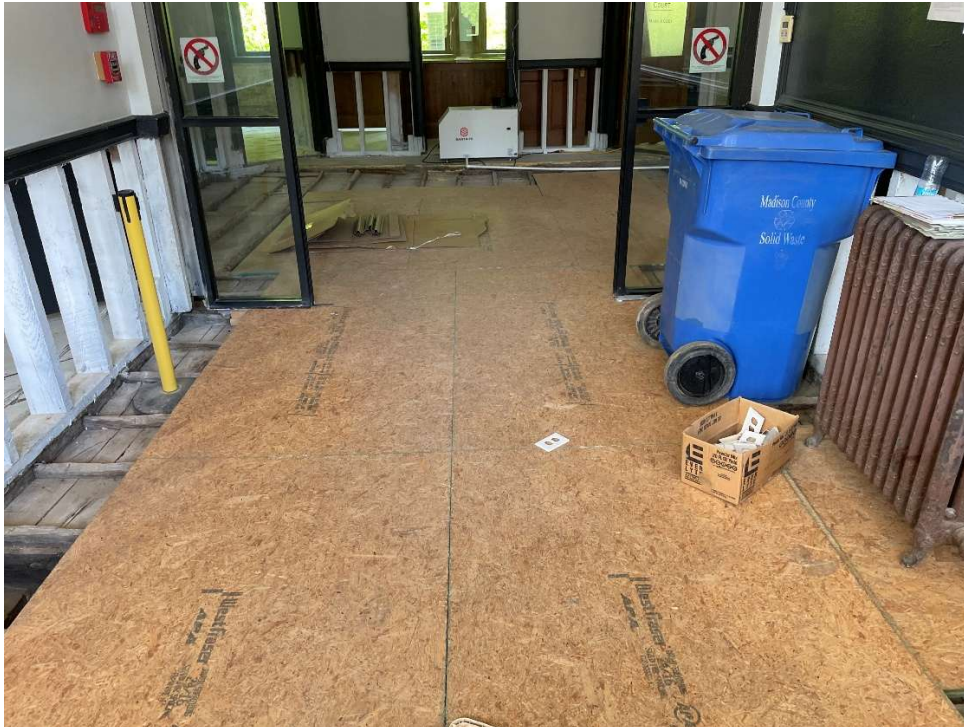


Figure 17: First Floor View at Front Door Entry to Courthouse

The contact for this project was the Town of Marshall Administrator, Mr. Ryan Cody. Mr. Cody informed the team that the first floor experienced approximately eighteen inches of floor waters above the finished first floor during Hurricane Helene in September 2024. The finished floor and subfloor had been removed to dry out after the water receded. Typical first floor construction was rough sawn 2x joists at approximately 16 inches on center spanning between load bearing lines. The direction of the floor joists varied from room to room. The tops of the exposed joists were in extremely poor condition (Ref. Figures 4 -6) and appeared to have been damaged during the removal of the subfloor.

Moving forward, SKA recommends a more detailed investigation of the existing structural framing to evaluate the extent to which the current framing can be retained and incorporated into the proposed renovation. The assessment should include the condition and capacity of the existing floor joists, beams, bearing conditions, and wall assemblies relative to the anticipated design loads and intended use of the building.



Based on the findings of this investigation, structural modifications may be required in portions of the first-floor framing system. These modifications could include selective reinforcement or sistering of existing joists, installation of supplemental framing members, or replacement of deteriorated or inadequate framing where necessary. Existing wall assemblies and their load transfer paths should also be evaluated to determine whether strengthening or reconstruction will be required to support the proposed loading conditions and renovation scope.

The results of the investigation will allow the design team to determine the most appropriate combination of repair, reinforcement, and replacement measures for the existing structure.

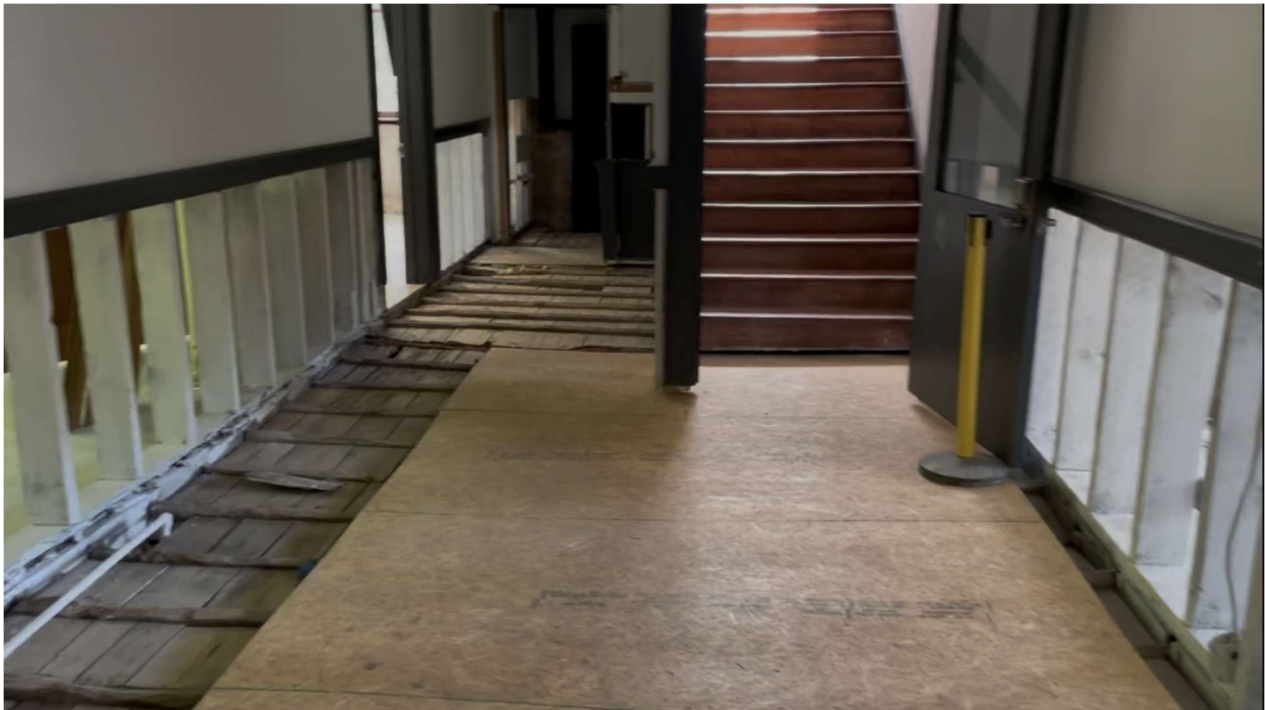


Figure 18: First Floor - Rear of Entry – Looking East



Figure 19: First Floor - Main Hall - Rear of Entry – Looking West



Figures 20 & 21: First Floor - Main Hall Rear of Entry – Damaged Floor Joists

Two rooms located at the front corners of the first floor contain concrete slab floors (Ref. Figure 22 and 23). The construction and configuration of the supporting elements beneath these rooms could not be confirmed during this visit. Although no significant deficiencies were observed, SKA recommends further investigation of the floor framing and support conditions beneath the concrete slabs. The evaluation should consider the proposed floor live loads associated with the intended future use of the spaces.



Figures 22 & 23: First Floor - Front West Room – Front East Room - Concrete Slab Floor

The remainder of the first-floor rooms were constructed with subfloor systems consisting of either horizontal plank floorboards (Ref. Figures 24 and 25), wood sheathing, or a combination of both (Ref. Figure 26). SKA recommends further investigation of the structural framing supporting these areas to evaluate the extent to which the existing framing can be retained and incorporated into the proposed renovation.

Access to portions of the crawlspace beneath some of these spaces was limited during this visit; therefore, selective demolition of portions of the existing subfloor may be required to verify framing configuration, member condition, span arrangements, and bearing conditions. The findings of this investigation will assist the design team in determining where existing framing may remain, where supplemental reinforcement may be appropriate, and where replacement of existing structural elements may be necessary to support the proposed loading and renovation scope.



Figures 24 & 25: First Floor – Front Room – Rear Room - Horizontal Plank Floorboards



Figure 26: First Floor - Rear Room – Mix of Plank Floorboards and Sheathing

At the rear, east room, a visible low spot in the subfloor was observed at the radiator heater (Ref. Figure 27). The subfloor was observed to be sheathing in this room. This suggests that additional structural support may be needed beneath the radiator.



Figure 27: First Floor - Rear East Room – Low Spot in Subfloor at Radiator Heater



Second Floor

The primary feature of the second floor is the courtroom (Ref. Figure 28). This space is two stories tall and clear spans the full width of the structure. All walls and ceilings were finished, preventing access to concealed spaces.

Initial programming indications are that this space could potentially be used as a theater or performance venue incorporating a stage area at the front of the room. Such a change in occupancy and use could require an increase in the floor live load capacity for this space, subject to verification through structural analysis and investigation.



Figure 28: Second Floor – Courtroom Looking West *Figure 29: Second Floor – Balcony Looking East*

Standing in the courtroom, looking east, a large balcony overhangs the courtroom space (Ref. Figure 29). Mr. Cody expressed concern regarding the structural integrity of the balcony. At the time of this site visit, all surfaces were concealed by finish materials, preventing a direct evaluation of the structural framing and connections. It was observed that the trim at the end of the balcony was separating from the rear wall of the building (Ref. Figure 30). However, it could not be determined whether this condition reflects a structural deficiency without selective demolition of both the balcony finishes and adjacent wall finishes to expose the underlying construction.

The required live load capacity for the balcony will depend upon the final occupancy classification of the courtroom space. Once the anticipated design live load is established, SKA recommends selective removal of finishes to allow further investigation of the balcony framing system and its connections to the primary structure.

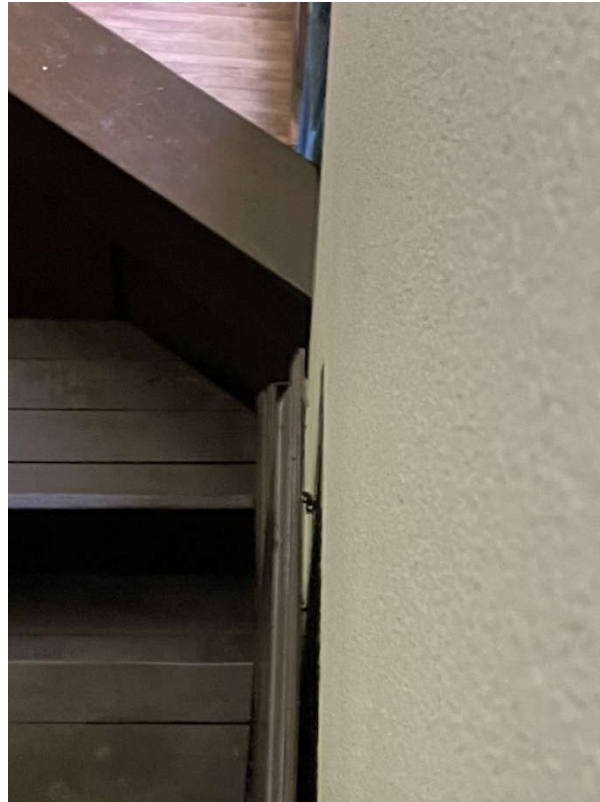


Figure 30: Second Floor – Balcony Connection at Rear Wall Separating

The front of the courthouse features a large, exterior walk-out porch at the second floor (Ref. Figure 31). This is accessible through a door on the south (front) face of the building. Both the top surface and bottom surface of the porch was finished, preventing access to enclosed spaces. No notable deficiencies were observed.

The required live load capacity for the walk-out porch will depend upon the final occupancy classification of the courtroom space. Once the anticipated design live load is established, SKA recommends selective removal of finishes to allow further investigation of the walk-out porch framing system and its connections to the primary structure.

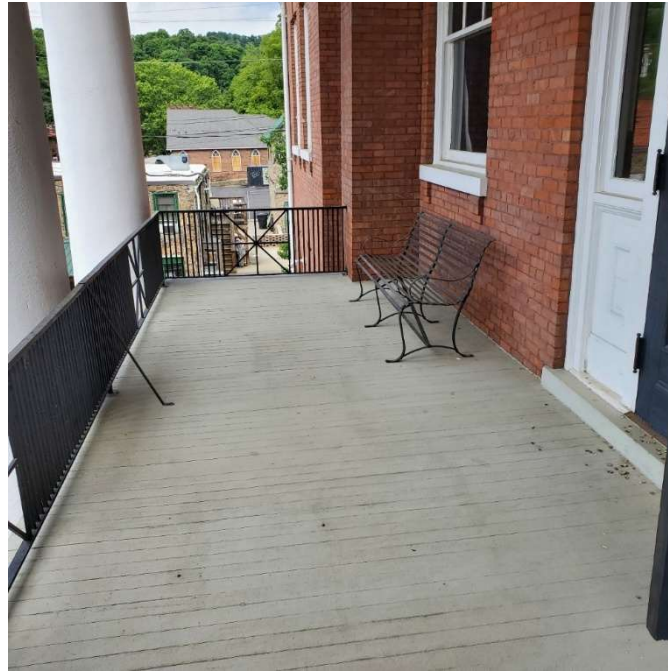


Figure 31: Second Floor – Front Porch adjacent to Courtroom

On the second floor, at the west end, there are four spaces that appeared to have been utilized as office space (Ref. Figure 32). All walls and ceilings were finished, preventing access to concealed spaces.

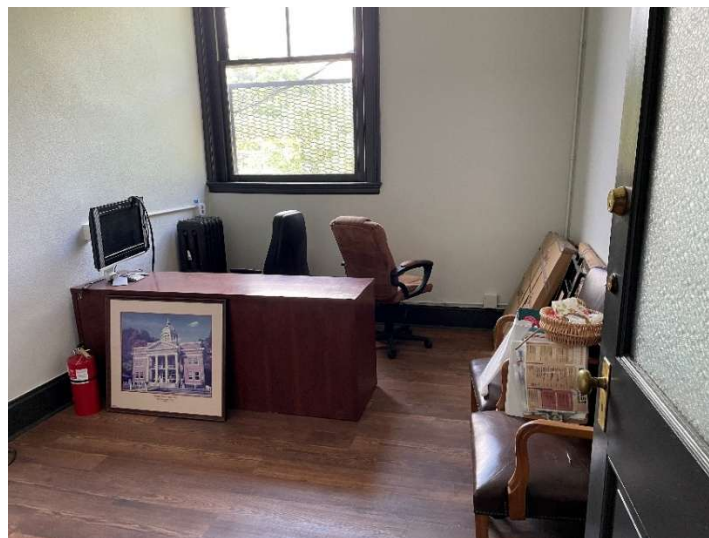


Figure 32: Second Floor – Typ. Office Space

The rear, west corner office on the second floor had a section of the gypsum ceiling removed in the corner of the office revealing the 2x floor framing for the 3rd floor above (Ref. Figure 33). SKA could not determine why this section of gypsum had been removed.



Figure 33: Second Floor Ceiling Cutout Revealing Third Floor Framing Above

Third Floor

There were no apparent signs of structural distress noted in the rooms/spaces on the third-floor spaces (west and east ends).

Attic

There was an open attic access at the third floor on the west end. SKA did not enter the attic but did take note of the truss construction from the access opening (Ref. Figure 34). Trusses spanned in the north-south direction. No apparent signs of structural distress in the attic were observed from the attic access location.



Figure 34: Attic Space – Wood Truss



Stairs

At the east end stairs there is a noticeable low spot at the inside corner post as you climb from the second floor to the third floor. As you look at Figure 35, you can see the drop in elevation on the left side. This could be due to settlement at the foundation level over time, or it could be indicative of a structural deterioration or failure below. SKA recommends further investigation during the design phase to attempt to determine the real cause of movement.

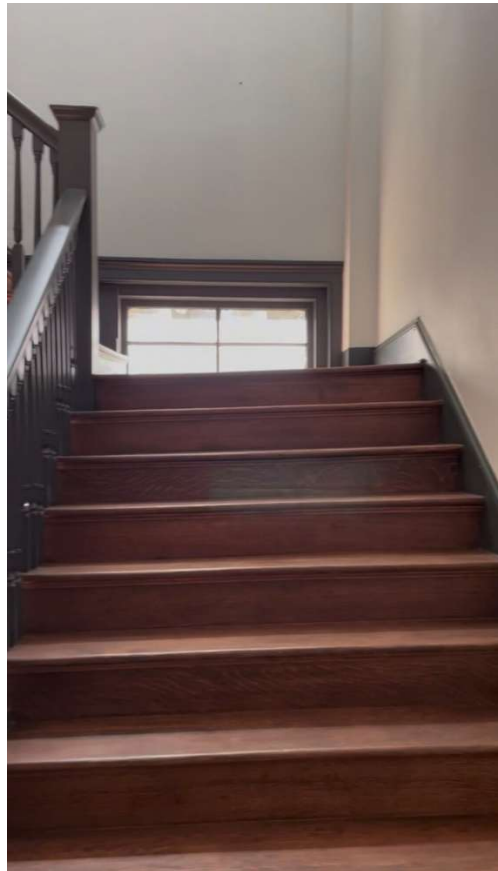


Figure 35: East End Stairs – Sinking Post at Inside Corner

Figure 21 shows a visible crack in the gypsum ceiling adjacent to the sinking post illustrated in Figure 20. The dark spot in the upper right corner of Figure 36 is the inside corner post at the stair landing. SKA recommends further review and analysis in the design phase.

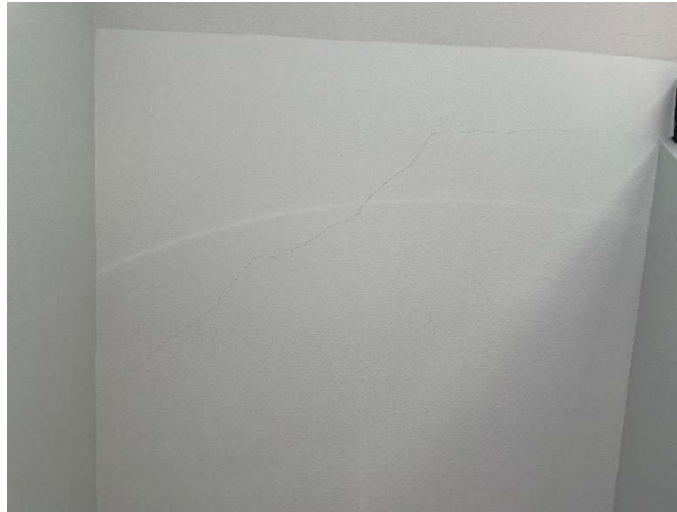


Figure 36: Cracking in Gypsum Ceiling adjacent to Sinking Post at Stair Landing

East-end stairs down to the basement level have dropped from original installation level (Ref. Figure 37). On the underside of the stairs, it was noted that an attempt to stabilize the stairs was made with 2x framing (Ref. Figure 38). SKA recommends removing and replacing this stair.

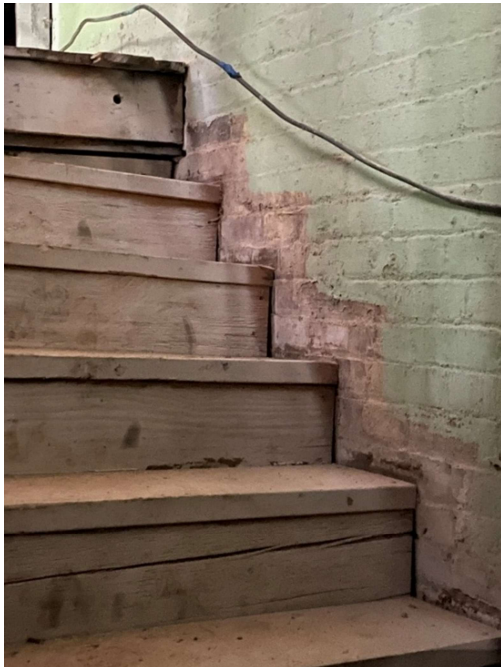


Figure 37: Stairs to Basement Level Figure 38: Underside of Stairs to Basement Level



Basement Level

Structural conditions at the basement level were generally in poor state throughout. A mix of historic brick, CMU foundation walls, and multiple locations of shoring with pipe jacks (Ref. Figures 39-42) were observed throughout the basement level. It is apparent that there are deficiencies in the existing structural framing above the basement level that warrant further review and analysis in the design phase. Based on the deteriorating condition of the foundations and the need to apply waterproofing, the proposed design calls for new foundation walls across the entire perimeter of the building, including the basement and crawlspace. This includes both interior and exterior footings and steel supports along with renovated CMU foundation walls. This will require extensive shoring and phasing during construction. Two pricing alternates were proposed for the type of infill for the basement. Alternate 1 would be the use of flowable fill to infill the basement/crawlspace. Alternate 2 would be geofoam to fill in the basement/crawlspace.

Both flowable fill and geofoam could potentially be viable alternatives for filling the basement/crawlspace cavity. The downside to flowable fill is the weight. Portions of the basement appear to be 8-9 feet tall, and depending on the unit weight of the material, this could potentially be adding in excess of 1,000 psf to the underlying soils and existing footings beneath the building. Geofoam could be considered as a lightweight alternative fill and would help minimize additional loads on the existing foundations and supporting soils.

The interior support conditions observed in the basement were generally in poor condition, including numerous pipe jacks, poorly constructed CMU infill, missing lintels, and walls that have been altered with openings knocked through. In addition, there are no available foundation plans for the structure, so the extent and configuration of the existing footings remain unknown. Regardless of the infill approach selected, most or all of the existing interior support conditions will likely need to be removed and replaced with new construction.

Additionally, along the north (rear) wall, there are significant voids in the exterior foundation wall that are allowing water infiltration beneath the building. Achieving a watertight envelope at the exterior face of the structure will be critical and will likely require a combination of waterproofing measures and underground drainage improvements.



Figure 39 & 40: Pipe Jack Supports in Basement Level



Figure 41 & 42: Pipe Jack Supports in Basement Level

The load-bearing CMU walls throughout the basement level exhibit poor construction quality. The CMU header above the door opening is inadequately supported and appears to rely on the door frame for bearing (Ref. Figure 43). Additionally, several areas were observed where the wood framing above is not in direct bearing contact with the CMU wall below (Ref. Figure 44). SKA recommends installing new retrofit lintels where existing lintels are inadequate and providing proper bearing support where walls are intended to support the framing above. In some locations, full replacement of the existing masonry wall may be required due to the extent of the deficiencies observed.



Figures 43 & 44: CMU Walls at Basement Level

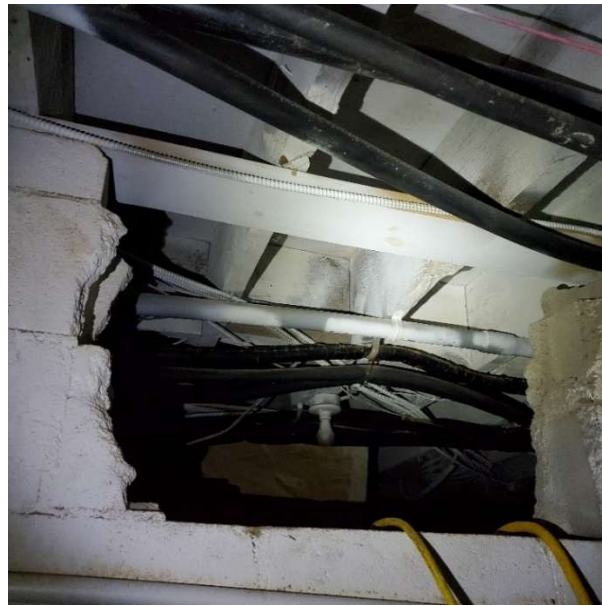


Figure 45: Large Void in CMU Wall Support Floor Joist

At the base of the stone retaining wall on the north side of the building, a concrete drainage trench has been incorporated into the slab-on-grade at the basement level (Ref. Figures 46-49). Active water intrusion through the stone wall was observed (Ref. Figure 48). The source and extent of the water infiltration should be further evaluated during the design phase to determine the appropriate corrective measures.



Figures 46-47: Water Trench at Inside Face of Retaining Wall



Figures 48-49: Water Trench at Inside Face of Retaining Wall

Large gaps and light observed around an access hatch (Ref. Figure 50) to the exterior allowing for potential animal intrusion. The header above this hatch is questionable. SKA recommends new framing around this opening and ensuring that the exterior envelope is sealed.

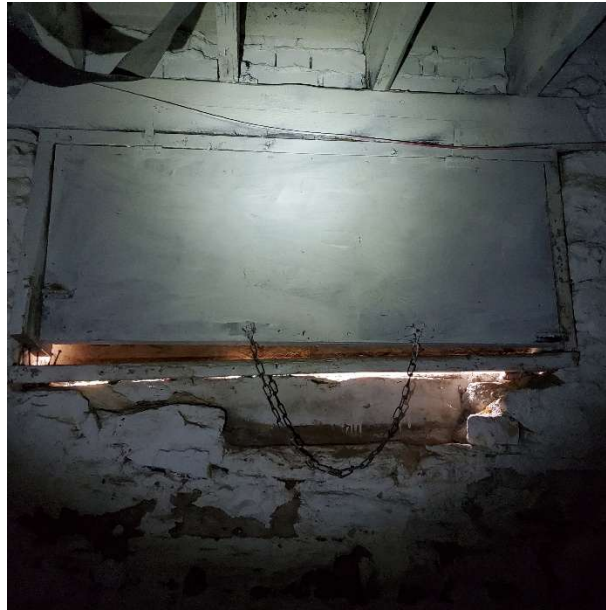


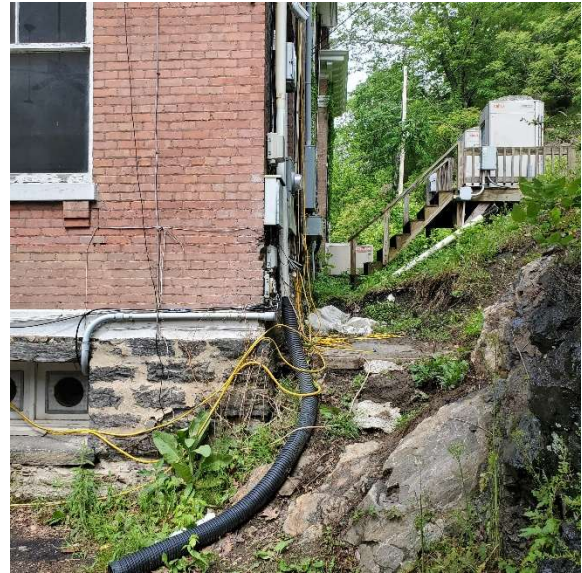
Figure 50: Access Hatch to Exterior

Exterior

No significant cracking was observed with the brick exterior façade, except at the northeast corner (Ref. Figures 51-54). Observations were limited to grade-level conditions, as no lift equipment was available during this inspection. All windows and associated framing were observed to be in poor condition. Localized brick damage was noted at the northeast corner (Ref. Figure 54). Access to the north elevation was restricted during the inspection due to adjacent grade and landscaping conditions.



Figures 51 & 52: Exterior Brick – South (Front) Wall and West (End) Wall



Figures 53 & 54: Exterior Brick – East (End) Wall and Northeast Corner

Cracking was observed in the front concrete steps (Ref. Figure 55). SKA recommends sealing these cracks to prevent water intrusion.

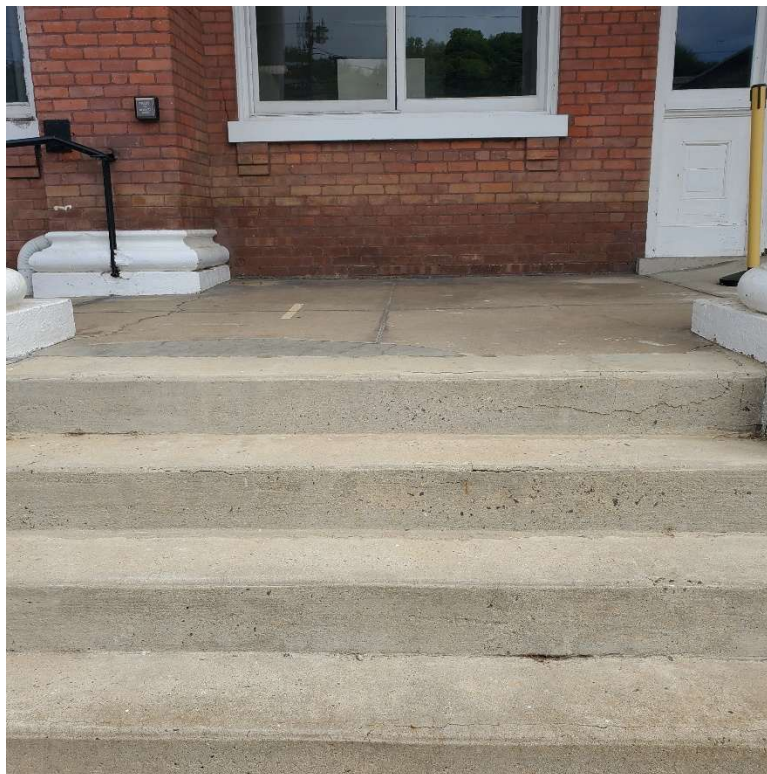


Figure 55: Front Steps Cracking in Concrete



Mechanical Modifications

Existing HVAC systems

The existing mechanical systems include an oil-fired steam boiler located in the basement; steam is distributed throughout the building to floor mounted radiators by a single pipe system. Some radiators in first floor are disconnected from the steam loop. The boiler was submerged in water and damaged during the flood caused by Helene.



Figure 56 - Radiator.



Figure 57 - Boiler



Figure 58 - Boiler Burner

The Courtroom is served by two cooling only split systems air conditioning units, the indoor units are located in mechanical closets in the 3rd floor behind the balcony, these units are not provided with outside air for ventilation, use refrigerant R-22 which is not currently manufactured and have exceeded the life expectancy of the equipment. Also the condensing units are located at ground level and most likely were damaged during Helene. Four steam radiators provide heating to the courtroom and adjacent rooms in the second floor.

There are two multizone VRV heat pump system providing heating and cooling to all spaces on the first and second floor except for the Courtroom. This systems were installed around 2010 and are about to reach the equipment life expectancy.



The third floor is served by a 3-ton ducted mini split system; this system was manufactured in 2014. The condensing unit is located at ground level and most likely was damaged by Helene.



Figure 59 - Condensing unit on ground.



Figure 60 - Multizone Heat Pumps

HVAC Renovation

The renovation will include the demolition of all existing mechanical systems, including ductwork, steam piping and refrigerant lines. Exhaust fans serving existing bathrooms will be also removed.

The theater will be provided two 7-ton split systems heat pumps; each heat pump will be provided with electric back up heater. A new outside air intake will be installed on the roof for ventilation; both units can be connected to a common OA intake. A CO2 sensor will be installed in the space to monitor air quality and modulate the outside air damper, reducing the energy consumption when the space is not fully occupied. New ductwork will be provided for air distribution and designed for air noise reduction in the theater. Each unit will be provided with integral standalone controls. Daikin will be the basis of design.

A multizone Energy Recovery VRV system will be provided to condition all other spaces in the building, each space will have a wall mounted or ceiling mounted indoor unit and thermostat for temperature control. Daikin will be the basis of design.

A 1,000 CFM outside air (OA) Split System will be provided for ventilation of the spaces served by the VRV system. The OA split system will consist of an outdoor heat pump, an indoor ERV and DX coils for temperature and humidity control. The basis of design will be Daikin for the heat pump and Oxygen8 for the indoor units. Outside air will be ducted to each space, air exhausted from the bathrooms and warming kitchen will be ducted to the ERV for energy recovery and then released to the outdoors. All outdoor units will be located on the west side of the building. Location of indoor units will be determined during design.

All concealed supply air duct shall be externally insulated with mineral fiber insulation.

Air distribution devices will be lay-in style diffusers and grilles for suspended ceiling systems, surface mounted diffusers and grilles for hard ceiling surfaces, or duct mounted for open ceiling areas.

Refrigerant piping for the VRF system shall be type L copper with brazed joints.



Cooling condensate drain piping for the indoor evaporator coils shall be copper.

All refrigerant piping and condensate drain piping shall be insulated with pre-formed flexible elastomeric foam insulation or mineral fiber insulation. Outdoor refrigerant piping will be covered with a protective aluminum cladding system to prevent insulation degradation.

Plumbing Modifications

Existing Plumbing System Assessment

The Basement as floored and there was standing water 18" of standing water on the Main Floor. The plumbing system equipment in the Basement is a 30 gallon gas water heater, a sump pump ejector and a wall mounted AO Smith instantaneous water heater. There is PVC waste and vent piping in and out of the sump pump ejector. The water service piping is copper throughout the basement.

The Main Floor Level has single toilets on each side of the building. One male and one female. The plumbing fixtures are removed due to the water damage. Waste piping PVC, water piping copper. The Second Floor Level have a single room with a water closet in the room and a lavatory on the outside wall. They are located above the toilet rooms on the Main Level. The Mezzanine Level have similar toilet room layouts. The plumbing fixtures in the now storage room have been removed.



Basement sump pump and wall mounted instantaneous water heater.

New Plumbing System Assessment

The existing courthouse will be converted into a new Community and Cultural Center. The entire plumbing system in the building will be removed back to where the gas, water and sanitary services enter the building.

A reduced pressure zone assembly backflow preventer will be located in the mechanical room where the water service enters the building if the city water pressure exceeds 80 psi. A new gas water heater will be selected for the building. Hot and cold potable water mains will be routed throughout the



facility to accommodate the layout of the plumbing fixtures. Ball valves will be placed on all fixture branches for ease of maintenance.

Plumbing fixtures and trim will be provided as required by the plan. Toilets will be wall hung with flush valves, 1.6 gpf; lavatories will be wall hung or self rimming countertop type with barrier free trim, 0.5 gpm aerators; Urinals will be wall hung with flush valves, 1.0 gpf; Mop receptors shall be terrazzo basins with wall braced faucet with hose thread outlet; all other sinks shall be stainless steel self rimming countertop type. All flushing fixtures will be hardwired, automatic sensor operated. Bi-level electric water coolers with bottle filling stations will be included where required by the plans.

New Fire Protection System Assessment

The existing courthouse will be converted into a new Community and Cultural Center. The building will be provided with a new retrofitted wet pipe fire sprinkler system.

The Fire Sprinkler system shall be provided and sized to serve the renovated building. The new occupancy will be classified as assembly. The sprinkler system will be design to Light Hazard Occupancy. All components of the fire protection sprinkler system will be FM approved, U.L. listed for fire service and meet the requirements of the Owner's insurance underwriter.

Sprinkler densities shall reflect NFPA 13 design criteria and be provided with appropriate coverage including allowances for obstructions by large ducts and extension of coverage to areas under overhangs and canopies where appropriate. A fire main will be extended from the water main in the street to the fire sprinkler room in the Basement. The sprinkler riser located in the Basement will have a fire department connection on the face of the building. There will be a common sprinkler riser that will run from the basement to the top floor. Each floor will have it's own floor control valve assembly that will allow each floor to be drained for servicing independently.

The alarm check valve shall be cast iron, bronze trimmed alarm check valve with vertical, variable pressure trim. An exterior alarm bell will be provided on the face of the building. All interior piping for wet pipe systems shall be black steel to meet ASTM A-120, ASTM A-135 or ASTM A-53. All pipe less than Schedule 40 shall meet ASTM A-135. All pipe 2 ½ inches and smaller shall be Schedule 40. All pipe lighter than Schedule 30 shall be UL listed, FM approved, and joined by welding or roll grooved couplings only (no threaded joints).

Cast iron fittings: Standard weight fittings shall be UL rated for 175 psig. Fittings shall meet ASTM A-126. Threaded fittings shall meet ANSI 816.4. Flanged fittings shall meet ANSI 816.1. Gaskets for flanged fittings shall be full-face type of red sheet rubber.

Welded fittings: Factory fabricated wrought steel butt weld fittings shall meet ASTM A-234 and ANSI 816.9. UL listed and FM approved formed steel welding outlets may be used.

Grooved mechanical fittings and couplings shall use an elastomeric gasket enclosed by a split malleable or ductile iron housing. All wet pipe systems shall be roll-grooved type. All dry systems shall



be cut groove type.

Malleable iron shall meet ASTM A-47.

Self-grooving couplings and fittings employing set screws or plain end pipe shall not be used.

Electrical/Telecom/Fire Alarm Modifications

The existing Marshall Town Courthouse electrical systems were reviewed as part of the building assessment. The building is approximately 13,000 square feet and includes a basement level that was reportedly completely flooded during the storm event. The first floor was also reported to have an estimated 18 inches of standing water during the storm. Existing mechanical equipment was previously located in the basement. The current renovation approach is to abandon, fill, or otherwise remove the basement from active building systems use, and to reconfigure the mechanical system so new mechanical equipment is not required in the basement.

The existing permanent electrical service was reportedly shut off after the storm as a preventive measure. A temporary electrical service has since been installed to support portable HVAC/dehumidification equipment intended to stabilize the building and limit further deterioration. The extent of actual damage to the existing electrical service equipment could not be confirmed; however, due to the age of the existing electrical infrastructure, the complete basement flooding, first-floor water exposure, and planned building reuse, the recommended scope assumes replacement of the existing electrical service and distribution systems.

Historic Building Considerations

The courthouse is listed on the historic registry. Electrical, telecommunications, fire alarm, lighting, security, and audio/visual upgrades should be planned to support the proposed renovation while minimizing impacts to historic materials and architectural character. Equipment locations, device placement, visible raceways, penetrations, exterior fixtures, lighting appearance, and routing should be coordinated with the historic preservation approach.

Existing Electrical Service and Distribution

Existing electrical panels, branch wiring, wiring devices, lighting, and associated distribution equipment appear to be aged and are not recommended for reuse as the basis of the renovated building. Existing wiring is presumed to be older and may not be suitable for the proposed change in use, revised mechanical systems, electric heat, current code requirements, or long-term reliability expectations.

The recommended scope assumes removal and replacement of the existing electrical service and distribution equipment, including new main distribution equipment, panelboards, feeders, branch circuits, grounding/bonding systems, wiring devices, and related electrical infrastructure.

Basement Electrical Scope



Because the basement was completely flooded and is planned to be abandoned or removed from active building use, new electrical distribution equipment should not be located in the basement. Existing basement electrical equipment, raceways, wiring devices, disconnects, panels, and branch circuiting should be removed or disconnected back to source where accessible.

New electrical distribution equipment should be located above the flood-prone level in accessible electrical rooms or other suitable code-compliant locations. Where limited electrical work is required in the basement for maintenance lighting, sump equipment, monitoring, or other minimal support functions, equipment should be limited to essential items only and installed using wiring methods and enclosures suitable for the environment.

New Electrical Distribution

The renovated building should include new main electrical distribution equipment sized for the proposed assembly/theater use, new HVAC system with electric heat, elevator, lighting, receptacles, fire alarm, automatic sprinkler monitoring, security, telecommunications, audio/visual systems, warming kitchen, and support spaces.

For preliminary planning and grant budgeting, a new 800A, 208Y/120V, 3-phase service should be assumed. This preliminary service size is intended to support the renovated building use, including the new mechanical system with electric heat and a dedicated theater/stage panel. Final service size should be confirmed during design after mechanical equipment, electric heat loads, elevator requirements, kitchen equipment, and theater/audio-visual loads are selected.

Utility service requirements, service location, metering location, and service routing should be coordinated with the electric utility as part of the design. Replacement service equipment should be located above flood-prone areas where practical.

The preliminary programming plans identify an electrical room on the third floor; this area should be considered for new distribution equipment where access, working clearances, ventilation, and feeder routing can be accommodated. Additional panelboards may be required on lower floors to serve local lighting, receptacle, mechanical, and support loads. New distribution equipment should be located above the flood-prone basement level.

Panelboards should be located in accessible, dry, code-compliant spaces with required working clearances and dedicated electrical space. Existing panels should not be reused unless specifically evaluated and approved during final design, which is not currently recommended.

Elevator

The existing elevator is planned to be replaced as part of the renovation. The new electrical distribution system should account for elevator power, disconnecting means, cab lighting and controls, fire alarm interface, and associated equipment connections. Elevator requirements should be coordinated with the new fire alarm system and automatic sprinkler system.



Theater / Performance Systems

The proposed reuse includes a community theater/performance space with fixed seating, performance platform, dressing rooms, green room, warming kitchen, and upper-level balcony with seating. The space may also be used for small concerts, presentations, and community events.

The theater area should include a modest theatrical lighting and sound system appropriate for small productions and community events. The system should support stage lighting, house lighting control, sound reinforcement, microphones, speakers, audio/visual playback, and connectivity between the performance area and the rear control booth.

The theater area should include a dedicated rear-of-house sound and lighting control booth or control area. For planning purposes, assume an approximately 8-foot wide by 3-foot deep control area located at the rear of the audience seating area. The control area should support sound mixing, theatrical lighting control, audio/visual playback, microphones, speaker controls, and connectivity to the performance area.

The theater area should also include low-level aisle, step, and circulation lighting to allow safe movement during performances without disrupting the audience experience.

Theater / Stage Power

The theater area should include a dedicated 200A, 208Y/120V, 3-phase stage/theater panel for theater-specific loads. This panel should serve stage lighting, theater house-lighting controls, sound system equipment, A/V equipment, control equipment, stage/platform receptacles, and back-of-house theater support loads.

Planning assumptions should include dedicated 120V receptacles near the performance platform, receptacles at the rear control booth, power for sound and A/V equipment, and connection points for lighting control, audio, data, and microphones. Specialty receptacles or portable equipment connections should be considered if required for the theater system.

Back-of-House and Support Areas

Back-of-house areas should include receptacle capacity and connectivity for dressing rooms, the green room, performer preparation, storage, event operations, and portable equipment. Dressing rooms should include convenience receptacles for mirrors, task lighting, makeup use, hair dryers or similar portable equipment, and general support loads.

The green room should be treated as a performer waiting/support room with general receptacles, charging locations, and connectivity suitable for lounge use, small appliances, monitor/display use, and event communication.

The warming kitchen should include electrical capacity for warming equipment, refrigeration, small appliances, receptacles, water heater connections, and any exhaust or kitchen support equipment required by the kitchen design.



Lighting Systems

Existing interior and exterior lighting should be replaced or supplemented with new LED lighting due to age, flood exposure, and the proposed building reuse. Lighting should be selected to support the historic character of the courthouse while providing appropriate illumination for interior spaces, theater functions, building entrances, egress paths, accessible routes, and general site/security needs.

The renovated building should include automatic lighting controls for energy code compliance, including occupancy/vacancy sensing, automatic shutoff, local control, daylight-responsive control where applicable, and control zoning suited to room function.

General community and public-use areas should have practical, code-compliant lighting controls appropriate for normal building operation. Theater and performance areas should have separate control capability for stage lighting, audience lighting, and performance-related lighting scenes.

Emergency lighting and egress illumination should be included throughout required egress paths, stairs, corridors, exits, assembly areas, and exterior exit discharge locations in accordance with code. For planning purposes, emergency lighting is assumed to be served primarily by integral battery units.

Wiring Devices and Branch Circuits

Existing receptacles and wiring devices should be replaced. New receptacle layouts should be developed based on the revised architectural plan and proposed community use. General-purpose receptacles should be provided throughout public spaces, offices/support areas, back-of-house rooms, storage rooms, mechanical/electrical spaces, and other renovated areas.

GFCI protection, tamper-resistant receptacles, weather-resistant devices, and special-use receptacles should be provided where required by code and room function. Dedicated circuits should be included for equipment loads, A/V racks, theater controls, IT/security equipment, vending or concession equipment if provided, janitorial equipment, and mechanical systems.

Plumbing / Mechanical Coordination Electrical Impact

The existing plumbing system is planned to be removed and replaced. The renovated electrical system should account for new power connections for plumbing-related equipment, including the new gas water heater, circulation pumps, sump or drainage equipment if required, warming kitchen equipment, exhaust equipment, and control devices associated with the new plumbing and mechanical systems.

Electrical and fire alarm systems should account for new automatic sprinkler system requirements, including monitoring of waterflow, valve tamper, supervisory, and trouble conditions. If fire protection equipment such as a fire pump, jockey pump, air compressor, heat trace, or related controls is required, associated power and control connections should be included.



The HVAC system is planned to be replaced and will include electric heat. The new electrical service and distribution equipment should account for the selected mechanical equipment, electric heating loads, controls, disconnects, and related branch circuiting.

Since the basement is being abandoned or removed from active building system use, new mechanical, plumbing, fire alarm, and electrical equipment should be located above the flood-prone level wherever practical.

Fire Alarm System

An existing fire alarm system is present; however, the system should be upgraded or replaced as required to comply with current code and the proposed A-1 assembly/theater use. The change in use, accessibility requirements, revised egress arrangement, and new automatic sprinkler requirement will likely require modifications to initiating devices, notification appliances, control equipment, monitoring, and system interfaces.

The renovated building should include a code-compliant fire alarm system with required initiating devices, occupant notification appliances, sprinkler waterflow and tamper monitoring, supervisory interfaces, remote annunciation where required, and off-site monitoring of alarm, supervisory, and trouble signals.

Elevator recall, monitoring, and shutdown interfaces should be included where required by the final elevator and sprinkler design.

Telecommunications, Audio/Visual, and Security

The renovated building should include updated telecommunications, security, access control, camera, audio/visual, theatrical sound, and production support systems appropriate for a public community facility with a modest theater/performance component. Existing low-voltage systems should not be assumed suitable for reuse due to the age of the building systems, revised building use, flood history, and anticipated renovation scope.

Public and community-use areas should include telecommunications and audio/visual capability suitable for meetings, presentations, events, and general community functions. Theater areas should include connectivity between the performance area, control booth, sound system equipment, and A/V equipment. Back-of-house areas should include power and connectivity for performer support, event operations, storage, and portable equipment use.

Grounding, Bonding, and Surge Protection

The renovation should include a new grounding and bonding system associated with the replacement electrical service and distribution equipment. Existing grounding electrodes and bonding connections should be evaluated and supplemented or replaced as required.

Surge protective devices should be included at the main service/distribution equipment and considered for downstream panels serving fire alarm, security, IT, audio/visual, and theatrical control systems.



Cost Estimate

The overall project cost is \$9,866,996. There were two basement infill options proposed in pricing and this estimate includes the less expensive option of flowable fill. The second option of geofoam, had the advantage of a lightweight alternative fill and would help minimize additional loads on the existing foundations and supporting soils. Using the geofoam, the overall project cost came to \$10,135,071.

Project Construction Cost Summary

Site Modifications	\$750,657
Renovation	\$8,843,258
Option #1 – Infill Basement and Crawlspace with Flowable Fill	\$296,500
Total Construction Cost with Option #1:	\$9,866,996
Option #2 – Infill Basement and Crawlspace with Geofoam	\$541,156
Total Construction Cost with Option #2:	\$10,135,071

This estimate includes the General Conditions at 12%, Overhead and Profit at 10%, Design Contingency at 20%, Bid Contingency at 5%, and Escalation (to the mid-point of July 2028) at 10.2%.

The cost estimate does not include the following: soft costs (design fees, etc.), construction contingency, construction manager fees, markups or general conditions, project labor agreements, rock excavation, provisions for unsuitable soil, soil remediation, FF&E unless specified in the estimate.

The full estimate is included in Appendix C.

Project Schedule

Project Anticipated Schedule

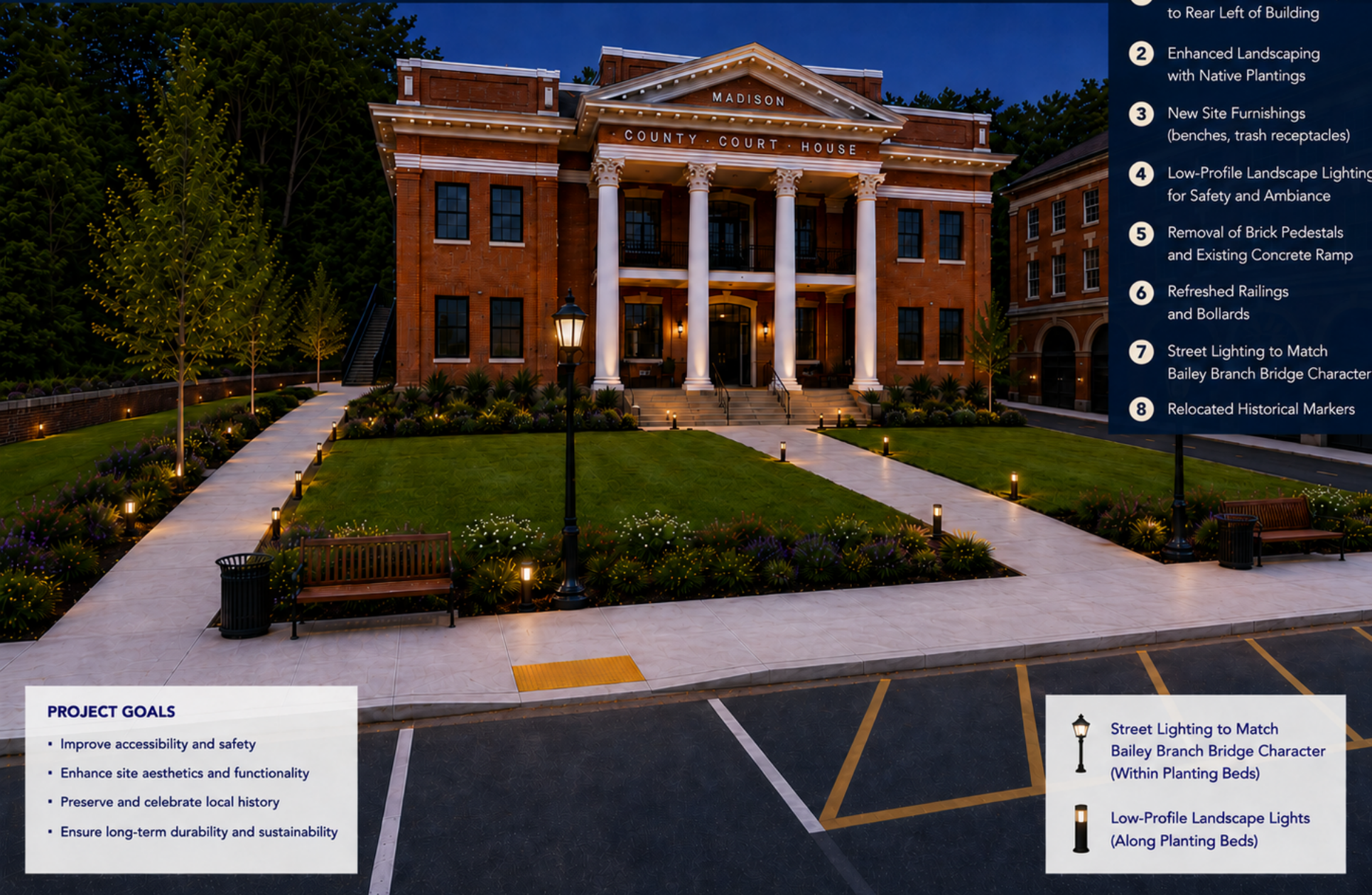
Site Survey + Selective demolition for detailed existing conditions verifications	Fall 2026
Design Phase	January 2027 – September 2027
Permitting, Bidding, and Contractor Selection	September 2027 – January 2028
Construction Start	January 2028
Construction Completion	March 2029



Appendix A: Concept Site Rendering and Plan

MADISON COUNTY COURTHOUSE

EXTERIOR IMPROVEMENTS RENDERING



IMPROVEMENTS HIGHLIGHTED

- 1 New Accessibility Walkway to Rear Left of Building
- 2 Enhanced Landscaping with Native Plantings
- 3 New Site Furnishings (benches, trash receptacles)
- 4 Low-Profile Landscape Lighting for Safety and Ambiance
- 5 Removal of Brick Pedestals and Existing Concrete Ramp
- 6 Refreshed Railings and Bollards
- 7 Street Lighting to Match Bailey Branch Bridge Character
- 8 Relocated Historical Markers

PROJECT GOALS

- Improve accessibility and safety
- Enhance site aesthetics and functionality
- Preserve and celebrate local history
- Ensure long-term durability and sustainability



Street Lighting to Match Bailey Branch Bridge Character (Within Planting Beds)



Low-Profile Landscape Lights (Along Planting Beds)

DISCLAIMER: NOT TO SCALE. This rendering is a conceptual visualization developed for planning and discussion purposes only.

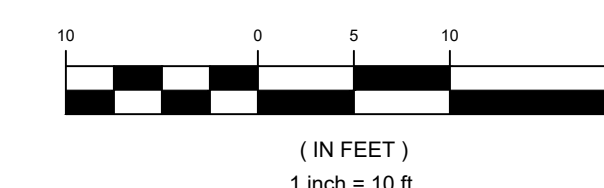
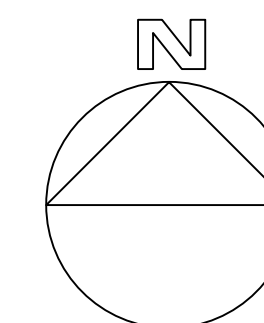
It is not intended to represent final design, material, or construction. Actual improvements may vary based on final design, budget, permitting, and site conditions.



PLOTTED: 6/11/2026 4:20 PM
 BY: john atchley
 FILE: \\S:\SP-Rockhill\Projects\Lead_Development\Jobs\CPL_00053786 - Southwestern Commission On-Call_00053786_001 - Marshall_Courthouse\02 - DWG_Concept_Site_Plan.dwg

MARSHALL COURTHOUSE
 MAIN ST - US-25/US-70
 MARSHALL, NC

CONCEPTUAL SITE PLAN
 1.0



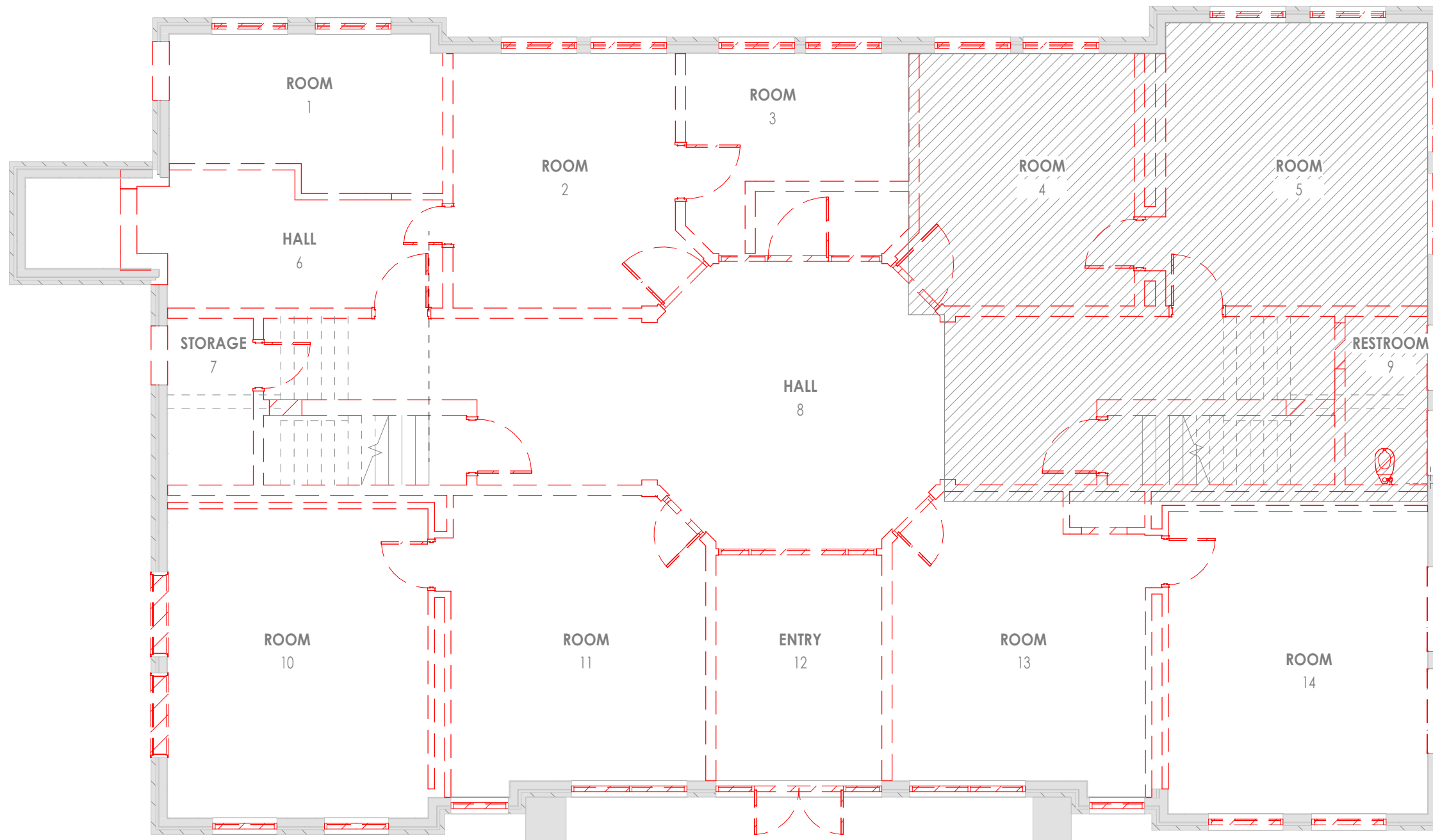
6/11/2026

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Appendix B: Demolition and Concept Floor Plans



First Floor Notes

1. Stairs must be enclosed in a fire rated wall assembly due to existing travel distances.
2. The building must be equipped throughout with an automatic sprinkler system. (NCBC 903.2.1.1.3)
3. An Additional accessible exit is required through the Plan West Stair due to travel distances, occupancy and accessibility requirements..
4. Existing floor and wall finishes, partitions, plumbing fixtures, accessories, doors, and frames have deteriorated beyond repair and will require replacement.
5. Main corridors, Main Lobby and Restrooms will have dropped drywall ceiling.
6. Janitor, Office, Gallery, and connecting corridor will have dropped lay-in ceilings.
7. Replace all single pane windows with double pane windows to match existing design per historic landmark requirements.
8. Hatched area indicates basement below. Demolish basement stair and pour a new slab on grade for the first floor to enclose the basement. Demolish and replace foundation walls. Add water barrier with flood proofing.

Unoccupied spaces: Corridors, Stairs, Restroom, Riser Rooms, Janitor's Closet.

Office: Business Occupancy

All other spaces: Assembly Occupancy, Unconcentrated, Exhibit gallery and museum, Waiting areas

Basement Area: 987 SF

First Floor Area: 4,382 SF

First Floor Demolition Plan

1/8" = 1'-0"



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Project Name
SCCG - Courthouse Renovation

Client Name
Town of Marshall

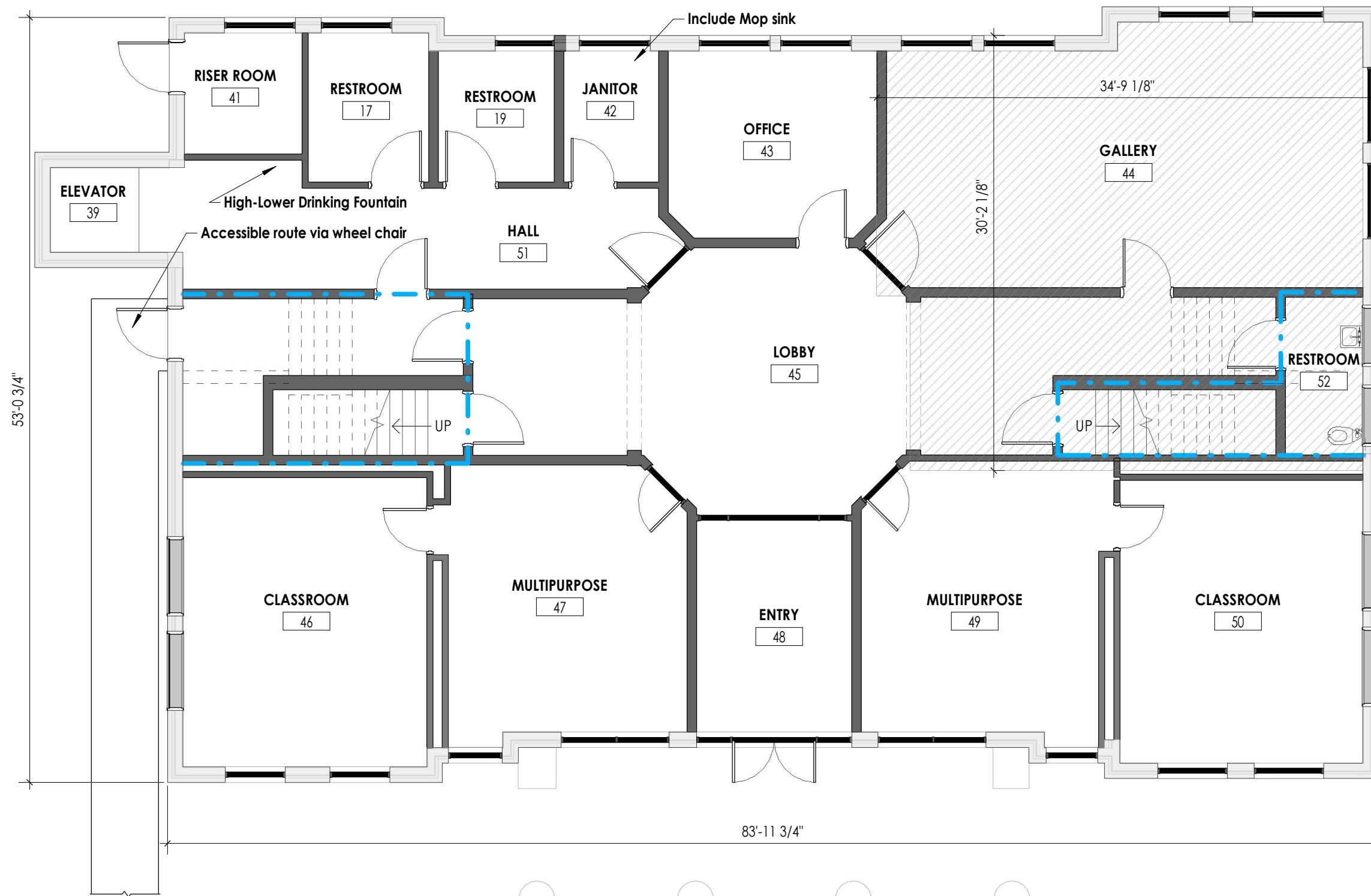
Date
6/15/26

Project Number
R25.19257.02

FIRST FLOOR DEMOLITION PLAN

SCALE: As indicated





First Floor Plan

1/8" = 1'-0"

First Floor Notes

1. Stairs must be enclosed in a fire rated wall assembly due to existing travel distances.
2. The building must be equipped throughout with an automatic sprinkler system. (NCBC 903.2.1.1.3)
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Unoccupied spaces: Corridors, Stairs, Restroom, Riser Rooms, Janitor's Closet.

Office: Business Occupancy

All other spaces: Assembly Occupancy, Unconcentrated, Exhibit gallery and museum, Waiting areas

Basement Area: 987 SF

First Floor Area: 4,382 SF



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Project Name
SCCG - Courthouse Renovation

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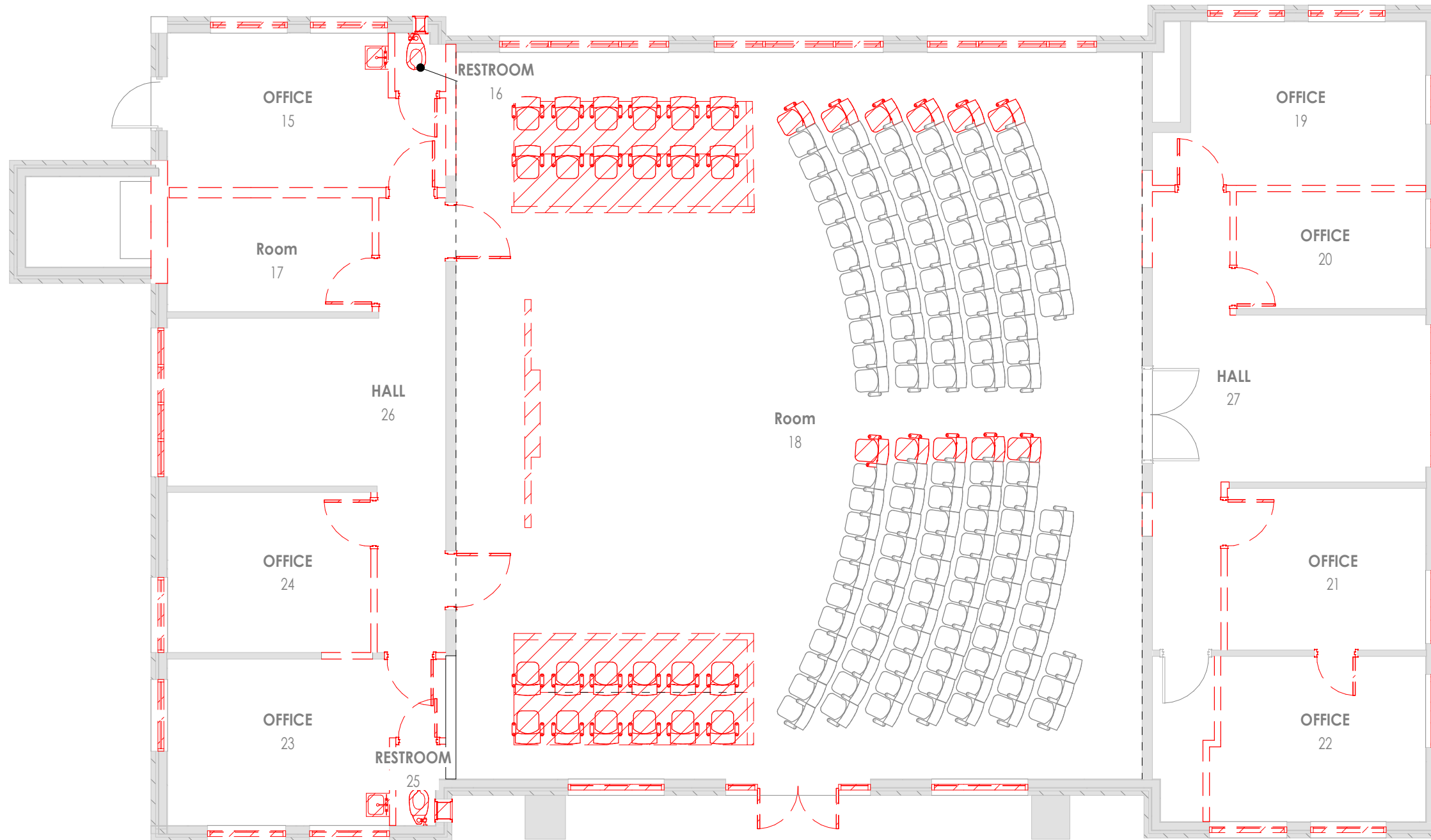
Date
6/15/26

Project Number
R25.19257.02

FIRST FLOOR PLAN

SCALE: As indicated





Second Floor Notes

1. Seating was removed to increase the aisle width due to code requirements.
2. Stairs must be enclosed in a fire rated wall assembly due to existing travel distances.
3. The building must be equipped throughout with an automatic sprinkler system. (NCBC 903.2.1.1.3)
4. Dressing rooms, property rooms, storerooms, and compartments appurtenant to the stage shall have a 1 hr fire rating. (NCBC 410.4.1)
5. The slope of sloped floor may need to be brought up to code to be accessible. Confirmation will be needed in subsequent design phase.
6. The Warming Kitchen and connecting corridors will have dropped lay-in ceilings. All restrooms will have drywall ceilings.
7. Add acoustical treatment and design to the performance hall, including the method of adding 1-2 layers of drywall to all the walls connecting to other interior spaces, isolating mechanical sound transmission, and adding acoustical panels to the existing walls or ceilings.
8. Replace all single pane windows with double pane windows to match existing design per historic landmark requirements UNO.
9. Existing floor and wall finishes, partitions, plumbing fixtures, accessories, doors, and frames have deteriorated beyond repair and will require replacement.

Performance: Medium Platform 20'-0" depth by 32'-0" width.
 This is suitable for average cast, or traditional community Theater. There would not be room for side seating with this option.

Total Seating: 171
 Accessible Seating: 5,
 2nd floor Seating: 135,
 3rd floor Seating: 36

Unoccupied spaces: Corridors, Stairs, Restrooms.

Warming Kitchen: Business Occupancy- Kitchens, commercial

All other spaces: Assembly Occupancy, Fixed Seating, Unconcentrated, Platforms

Floor Area: 4,382 SF

Second Floor Demolition Plan

1/8" = 1'-0"



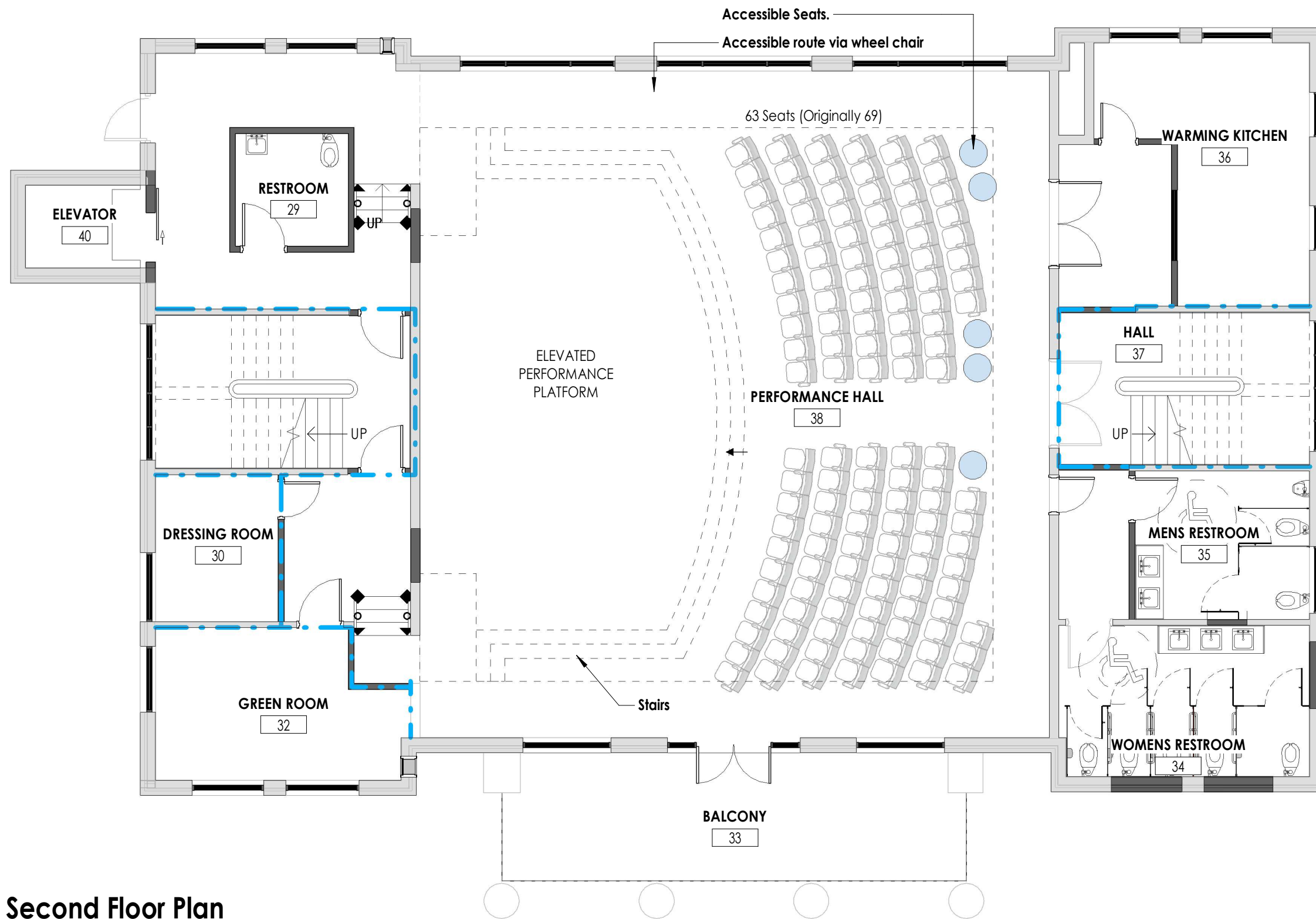
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Project Name
SCCG - Courthouse Renovation
 Client Name
Town of Marshall
 Date
6/15/26
 Project Number
R25.19257.02

SECOND FLOOR DEMOLITION PLAN

SCALE: As indicated





Second Floor Plan

1/8" = 1'-0"

Second Floor Notes

1. Seating was removed to increase the aisle width due to code requirements.
2. Stairs must be enclosed in a fire rated wall assembly due to existing travel distances.
3. The building must be equipped throughout with an automatic sprinkler system. (NCBC 903.2.1.1.3)
4. Dressing rooms, property rooms, storerooms, and compartments appurtenant to the stage shall have a 1 hr fire rating. (NCBC 410.4.1)
5. The slope of sloped floor may need to be brought up to code to be accessible. Confirmation will be needed in subsequent design phase.
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Warming Kitchen: Business Occupancy- Kitchens, commercial

All other spaces: Assembly Occupancy, Fixed Seating, Unconcentrated, Platforms

Floor Area: 4,382 SF



Project Name
SCCG - Courthouse Renovation

Client Name
Town of Marshall

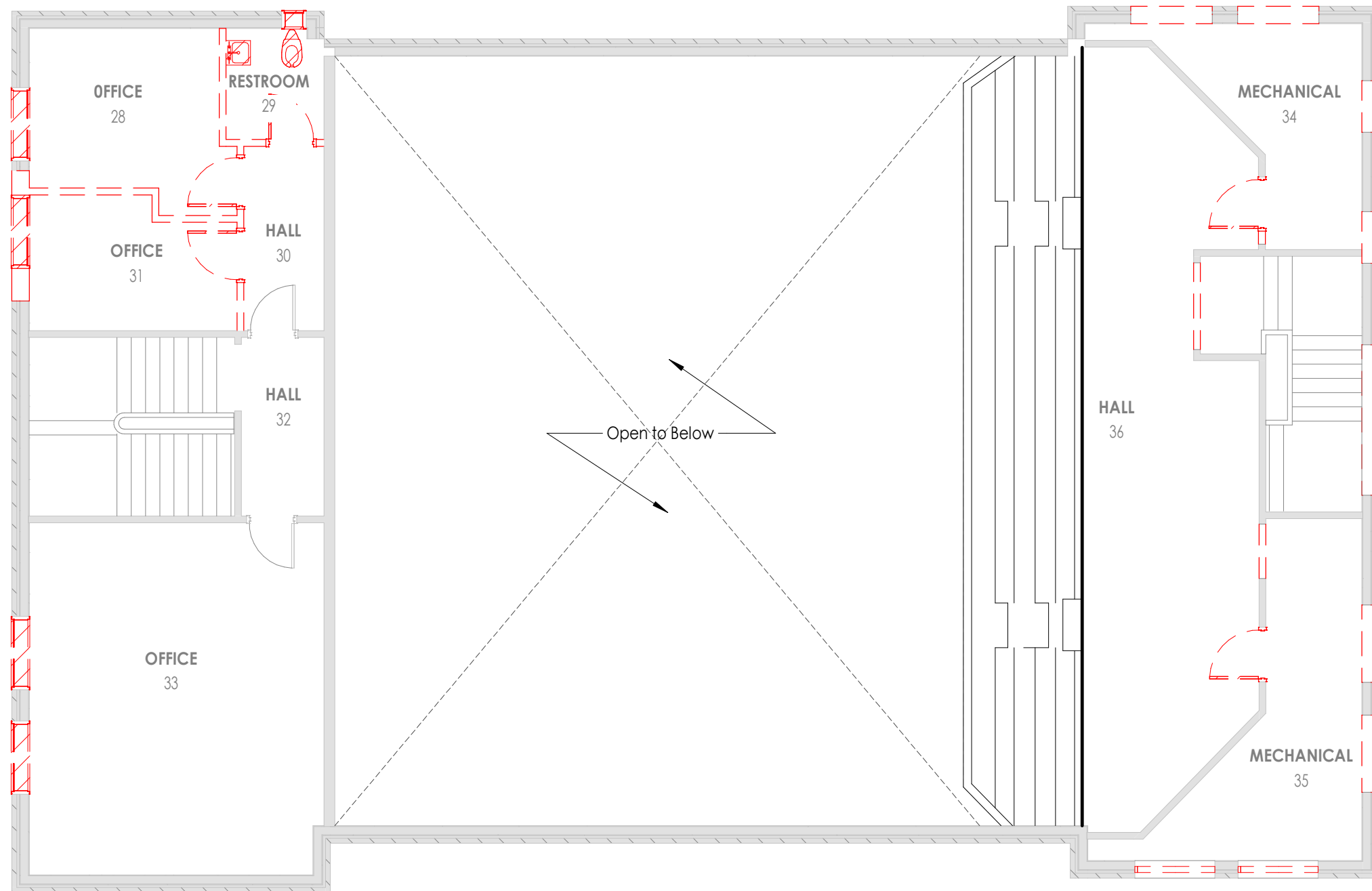
Date
6/15/26

Project Number
R25.19257.02

SECOND FLOOR PLAN

SCALE: As indicated





Third Floor Notes

NOTE: THIS LEGEND MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PROJECT.

1. Provide $\geq 25\%$ of the total seating on this level. Otherwise accessible seating is required on this level and an elevator to access that seating. (NCBC 2024 1109.2.4.2)
 - Max 3rd floor seating capacity by theater option:
 - A: 41 seats; B: 43 Seats; C: 44 Seats
2. We recommend using the tiered levels for lighting/rigging
 - Existing Conditions: Stairs are too steep for code maximum allowable riser height. The aisle and not wide enough to access seating. There is no railing.
 - If area was occupied, the tiered floors and seating would need to be reconstructed to match code and railings would need to be added. We believe this could be costly and the seating could be provided as shown.
3. Occupancies must be lower than 50 otherwise an additional exit is required. (NCBC 2024 1006.2.1)
4. Stairs must be enclosed in a fire rated wall assembly due to existing travel distances.
5. The building must be equipped throughout with an automatic sprinkler system. (NCBC 903.2.1.1.3)
6. Few interior walls to be demolished or modified.
7. Replace all single pane windows with double pane windows to match existing design per historic landmark requirements UNO.

Unoccupied spaces: Mechanical, Electrical, Corridors, Stairs.

Storage space: Storage Occupancy

Mezzanine Area: Assembly Occupancy - Fixed Seating

Floor Area: 2,123 SF

Third Floor Demolition Plan

1/8" = 1'-0"



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Project Name
SCCG - Courthouse Renovation

Client Name
Town of Marshall

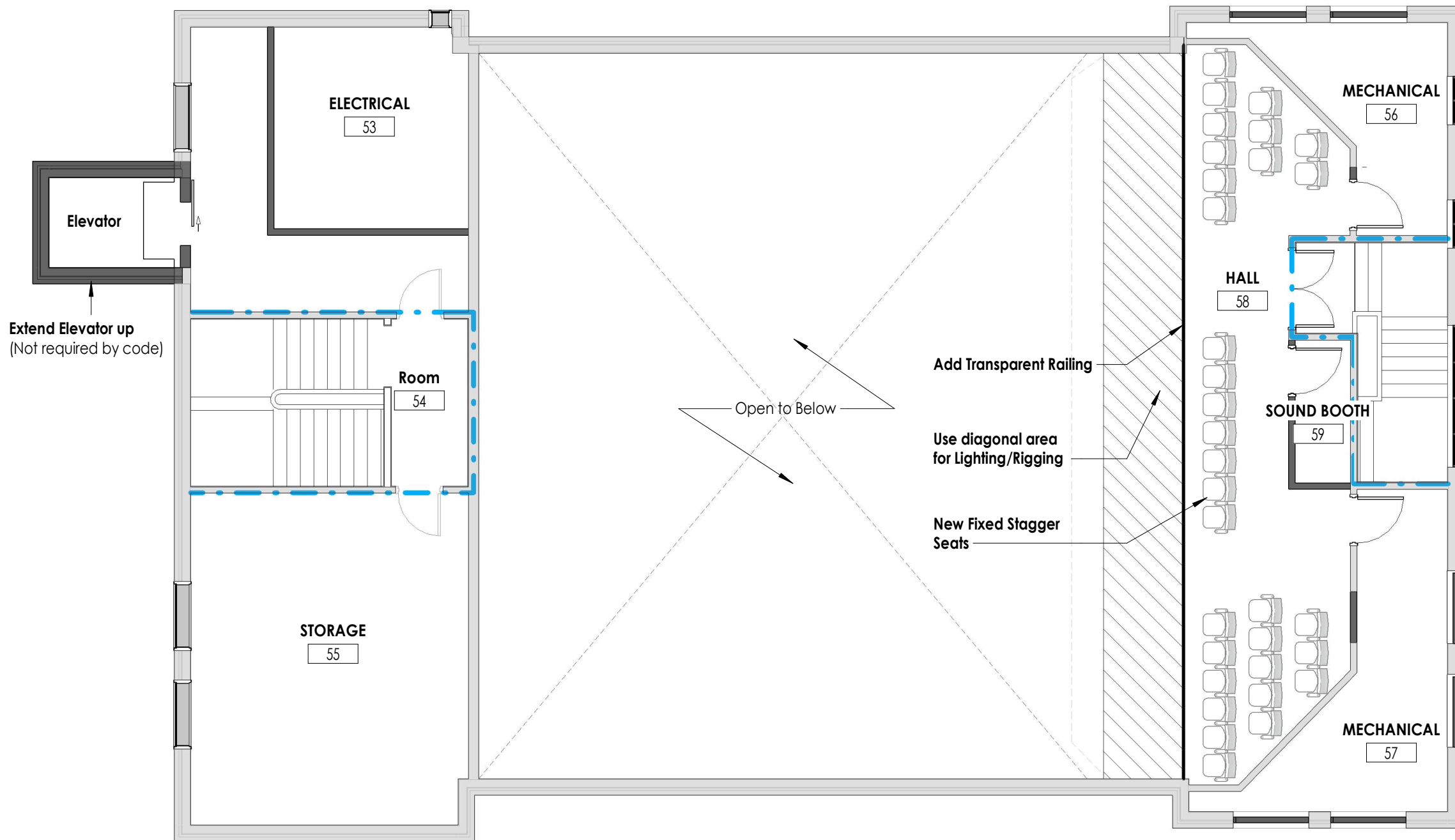
Date
6/15/26

Project Number
R25.19257.02

THIRD FLOOR DEMOLITION PLAN

SCALE: As indicated





Third Floor Plan

1/8" = 1'-0"

Third Floor Notes

NOTE: THIS LEGEND MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PROJECT.

- Provide > or = 25% of the total seating on this level. Otherwise accessible seating is required on this level and an elevator to access that seating. (NCBC 2024 1109.2.4.2)
 - Max 3rd floor seating capacity by theater option:
 - A: 41 seats; B: 43 Seats; C: 44 Seats
- We recommend using the tiered levels for lighting/rigging
 - Existing Conditions: Stairs are too steep for code maximum allowable riser height. The aisle and not wide enough to access seating. There is no railing.
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- Stairs must be enclosed in a fire rated wall assembly due to existing travel distances.
- The building must be equipped throughout with an automatic sprinkler system. (NCBC 903.2.1.1.3)
- Few interior walls to be demolished or modified.
- Replace all single pane windows with double pane windows to match existing design per historic landmark requirements UNO.

Unoccupied spaces: Mechanical, Electrical, Corridors, Stairs.

Storage space: Storage Occupancy

Mezzanine Area: Assembly Occupancy - Fixed Seating

Floor Area: 2,123 SF



Project Name
SCCG - Courthouse Renovation
 Client Name
Town of Marshall
 Date
6/15/26
 Project Number
R25.19257.02

THIRD FLOOR PLAN

SCALE: As indicated





Appendix C: Full Project Cost Estimate



FEASIBILITY STUDY ESTIMATE

COURTHOUSE REVITALIZATION INTO CULTURAL AND COMMUNITY CENTER
TOWN OF MARSHALL

MARSHALL, NC

PREPARED FOR:
CPL ARCHITECTURE, ENGINEERING AND PLANNING

PROJECT NO: TR-20260150

June 11, 2026
(Revision 1)

R.L. Young, LLC d/b/a YA Group
Planning & Construction Advisory Services

WWW.YAGROUP.COM



COURTHOUSE REVITALIZATION INTO
CULTURAL AND COMMUNITY CENTER
TOWN OF MARSHALL
MARSHALL, NC
CPL ARCHITECTURE, ENGINEERING
AND PLANNING

PROJECT NO: TR-20260150
FEASIBILITY STUDY ESTIMATE
PUBLISHED: 06/05/2026
REVISION 1: 06/11/2026

PROJECT SUMMARY	TOTAL COST
RENOVATION	\$ 8,843,258
SITE	\$ 750,657
<u>BASEMENT INFILL OPTIONS</u>	
OPTION #1 - INFILL BASEMENT AND CRAWLSPACE WITH FLOWABLE FILL	ADD \$ 273,081
TOTAL PROJECT CONSTRUCTION COST W/ OPTION 1	\$ 9,866,996
OPTION #2 - INFILL BASEMENT AND CRAWLSPACE WITH GEOFOAM	ADD \$ 541,156
TOTAL PROJECT CONSTRUCTION COST W/ OPTION 2	\$ 10,135,071

ESTIMATE NOTES / ASSUMPTIONS / CLARIFICATIONS

- BASED ON DESIGN TEAM PACKAGE DATED 05/27/2026, RECEIVED ON 05/27/2026.
- NORTH CAROLINA STATE DAVIS BACON RATES FOR MARSHALL COUNTY.
- CONSTRUCTION START JANUARY 2028; COMPLETION MARCH 2029; MID-POINT JULY 2028.
- NORMAL WORKING HOURS AND CONDITIONS; EXCLUDES ANY PREMIUMS FOR A CONDENSED CONSTRUCTION SCHEDULE.
- SINGLE PRIME CONTRACT (COMPETITIVELY BID).
- PREMISES TO BE VACANT DURING CONSTRUCTION.
- ENTIRE PROJECT BID AT ONE TIME.

EXCLUSIONS:

- SOFT COSTS (DESIGN FEES, ETC.)
- CONSTRUCTION CONTINGENCY (OWNER CHANGE ORDER RESERVE)
- CONSTRUCTION MANAGER FEES, MARKUPS OR GENERAL CONDITIONS
- PROJECT LABOR AGREEMENTS
- ROCK EXCAVATION
- NO PROVISIONS FOR UNSTABLE SOILS
- SOIL REMEDIATION
- FF&E UNLESS SPECIFIED IN ESTIMATE DETAIL

Note: This estimate represents a reasonable opinion of cost based on several public and proprietary sources of information. It is not a prediction of the successful bid from a contractor as bids will vary due to fluctuating market conditions, errors and omissions, proprietary specifications, lack of surplus bidders, perception of risk, and so on. Consequently, this estimate is expected to fall within the range of bids from multiple competitive contractors or subcontractors. However, we do not warrant that bids or negotiated prices will not vary from the final construction cost estimate.



COURTHOUSE REVITALIZATION INTO
CULTURAL AND COMMUNITY CENTER
TOWN OF MARSHALL
MARSHALL, NC
CPL ARCHITECTURE, ENGINEERING
AND PLANNING

PROJECT NO: TR-20260150
FEASIBILITY STUDY ESTIMATE
PUBLISHED: 06/05/2026
REVISION 1: 06/11/2026

RENOVATION SUMMARY

SUMMARY	TOTAL MATERIAL	TOTAL LABOR	TOTAL COST	% OF TOTAL	BLDG \$/ GSF
DIVISION 2 - HAZARDOUS MATERIALS	\$29,678	\$47,484	\$77,162	0.87%	\$6.50
DIVISION 2 - DEMOLITION	\$147,837	\$321,328	\$469,166	5.31%	\$39.52
DIVISION 3 - CONCRETE	\$108,923	\$58,171	\$167,095	1.89%	\$14.08
DIVISION 4 - MASONRY	\$90,041	\$154,565	\$244,606	2.77%	\$20.61
DIVISION 5 - METALS	\$53,950	\$16,630	\$70,580	0.80%	\$5.95
DIVISION 6 - WOOD AND PLASTICS	\$112,528	\$74,041	\$186,569	2.11%	\$15.72
DIVISION 7 - THERMAL & MOISTURE PROTECTION	\$36,536	\$23,456	\$59,992	0.68%	\$5.05
DIVISION 8 - OPENINGS	\$762,550	\$240,293	\$1,002,843	11.34%	\$84.48
DIVISION 9 - FINISHES	\$479,199	\$232,160	\$711,359	8.04%	\$59.92
DIVISION 10 - SPECIALTIES	\$37,750	\$19,020	\$56,770	0.64%	\$4.78
DIVISION 11 - EQUIPMENT	\$7,500	\$1,920	\$9,420	0.11%	\$0.79
DIVISION 12 - FURNISHINGS	\$62,346	\$7,603	\$69,949	0.79%	\$5.89
DIVISION 14 - CONVEYING	\$135,000	\$76,920	\$211,920	2.40%	\$17.85
DIVISION 21 - FIRE PROTECTION	\$32,358	\$37,751	\$70,109	0.79%	\$5.91
DIVISION 22 - PLUMBING	\$139,800	\$112,493	\$252,293	2.85%	\$21.25
DIVISION 23 - HVAC	\$372,490	\$234,200	\$606,690	6.86%	\$51.11
DIVISION 26 - ELECTRICAL	\$462,662	\$440,327	\$902,989	10.21%	\$76.07
SUB-TOTAL	\$3,071,149	\$2,098,362	\$5,169,511	58.46%	\$435.47
GENERAL CONDITIONS	12.0%		\$620,341	7.01%	\$52.26
OVERHEAD AND PROFIT	10.0%		\$578,985	6.55%	\$48.77
DESIGN CONTINGENCY	20.0%		\$1,273,767	14.40%	\$107.30
BID CONTINGENCY	5.0%		\$382,130	4.32%	\$32.19
ESCALATION (TO MID-POINT JUL-2028)	10.2%		\$818,523	9.26%	\$68.95
TOTAL - RENOVATION SUMMARY	11,871 GSF		\$8,843,258	100.00%	\$744.95



COURTHOUSE REVITALIZATION INTO
CULTURAL AND COMMUNITY CENTER
TOWN OF MARSHALL
MARSHALL, NC
CPL ARCHITECTURE, ENGINEERING
AND PLANNING

PROJECT NO: TR-20260150
FEASIBILITY STUDY ESTIMATE
PUBLISHED: 06/05/2026
REVISION 1: 06/11/2026

RENOVATION DETAIL

DESCRIPTION	QUANTITY	MATERIAL		LABOR		TOTAL
		UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	
DIVISION 2 - HAZARDOUS MATERIALS						
Abatement allowance	11,871 SF	\$2.50	\$29,678	\$4.00	\$47,484	\$77,162
TOTAL DIVISION 2 - HAZARDOUS MATERIALS			\$29,678	\$47,484	\$77,162	
DIVISION 2 - DEMOLITION						
<u>STRUCTURAL</u>						
Remove concrete / stone foundation walls and dispose	420 LF	\$80.00	\$33,600	\$15.00	\$6,300	\$39,900
Saw cut and remove slab on grade with reinforcing (inside building, including removal to outside)	696 SF	\$1.10	\$766	\$10.03	\$6,981	\$7,746
Remove wood frame and plywood subfloor at first floor	3,400 SF	\$0.53	\$1,802	\$3.35	\$11,390	\$13,192
Remove wood raised platform at jury seating	208 SF	\$1.06	\$220	\$5.03	\$1,046	\$1,267
Shoring / underpinning allowance	1 ALLOW	\$60,000.00	\$60,000	\$80,000.00	\$80,000	\$140,000
<u>FLOORS</u>						
Remove wood flooring	8,471 SF	\$0.75	\$6,353	\$4.38	\$37,103	\$43,456
<u>WALLS</u>						
Remove masonry wall for new doorway / window including new lintel and patch - exterior	291 SF	\$25.97	\$7,557	\$54.86	\$15,964	\$23,522
Remove masonry wall for new doorway including new lintel and patch - Interior	63 SF	\$20.70	\$1,304	\$41.15	\$2,592	\$3,897
Remove masonry partitions	1,276 SF	\$0.26	\$332	\$4.62	\$5,895	\$6,227
Remove plaster partitions	7,815 SF	\$0.40	\$3,126	\$3.90	\$30,479	\$33,605
Remove windows	1,620 SF	\$1.00	\$1,620	\$11.86	\$19,213	\$20,833
Remove exterior storefront	201 SF	\$2.00	\$402	\$13.80	\$2,774	\$3,176
Remove doors, frames and hardware - single	32 EA	\$0.00	\$0	\$90.00	\$2,880	\$2,880
Remove doors, frames and hardware - pair	2 EA	\$0.00	\$0	\$120.00	\$240	\$240



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MARSHALL, NC
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PROJECT NO: TR-20260150
FEASIBILITY STUDY ESTIMATE
PUBLISHED: 06/05/2026
REVISION 1: 06/11/2026

RENOVATION DETAIL

DESCRIPTION	QUANTITY	MATERIAL		LABOR		TOTAL
		UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	
<u>CEILINGS</u>						
Remove furring and metal lath and plaster ceiling	9,606 SF	\$0.14	\$1,345	\$5.58	\$53,601	\$54,946
<u>FIXTURES / CASEWORK</u>						
Demo toilet accessories - single restroom	4 EA	\$15.00	\$60	\$60.00	\$240	\$300
Remove miscellaneous millwork	1 LS	\$0.00	\$0	\$2,500.00	\$2,500	\$2,500
Remove courtroom seating (35 ea)	1 LS	\$0.00	\$0	\$480.00	\$480	\$480
<u>STAIRS</u>						
Remove existing elevator and controls	1 EA	\$6,000.00	\$6,000	\$27,209.40	\$27,209	\$33,209
Remove wood stairs and stringers (per flight)	1 EA	\$250.00	\$250	\$960.00	\$960	\$1,210
<u>GENERAL</u>						
Dispose of debris (per dumpster)	26 EA	\$850.00	\$22,100	\$480.00	\$12,480	\$34,580
Temporary construction fence and gates (including removal)	200 LF	\$5.00	\$1,000	\$5.00	\$1,000	\$2,000
TOTAL DIVISION 2 - DEMOLITION			\$147,837	\$321,328	\$469,166	
 DIVISION 3 - CONCRETE						
<u>CAST-IN-PLACE CONCRETE</u>						
Form, reinforce and pour concrete footings including excavation and backfill - crawlspace	296 LF	\$37.96	\$11,236	\$8.31	\$2,460	\$13,696
Form, reinforce and pour concrete footings including excavation and backfill - basement	126 LF	\$150.91	\$19,015	\$80.79	\$10,180	\$29,194
Form, reinforce and pour concrete column footings and piers including excavation and backfill - exterior	14 EA	\$2,347.86	\$32,870	\$1,297.58	\$18,166	\$51,036
Form, reinforce and pour concrete column footings and piers including excavation and backfill - interior	8 EA	\$1,962.09	\$15,697	\$1,188.43	\$9,507	\$25,204



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FEASIBILITY STUDY ESTIMATE
PUBLISHED: 06/05/2026
REVISION 1: 06/11/2026

RENOVATION DETAIL

DESCRIPTION	QUANTITY	MATERIAL		LABOR		TOTAL
		UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	
5" concrete slab, vapor barrier, 6x6 6/6 welded wire mesh, 6" stone base, bulkheads and edge forms, finish, cure and protect	4,096 SF	\$7.35	\$30,106	\$4.36	\$17,859	\$47,964
TOTAL DIVISION 3 - CONCRETE			\$108,923	\$58,171	\$167,095	
DIVISION 4 - MASONRY						
Masonry repointing / crack repair (assumes 20% of existing façade)	1,750 SF	\$6.50	\$11,375	\$38.16	\$66,780	\$78,155
Brick veneer at elevator enclosure	521 SF	\$21.60	\$11,254	\$22.60	\$11,775	\$23,028
12" CMU foundation walls fully grouted	2,760 SF	\$18.99	\$52,412	\$27.54	\$76,010	\$128,423
Lifts / scaffolding	1 LS	\$15,000.00	\$15,000	\$0.00	\$0	\$15,000
TOTAL DIVISION 4 - MASONRY			\$90,041	\$154,565	\$244,606	
DIVISION 5 - METALS						
<u>STRUCTURAL STEEL</u>						
Miscellaneous steel for lintels, plates, elevator guiderail, angles, bracing, edge details, etc.	2.5 TON	\$6,500.00	\$16,250	\$4,500.00	\$11,250	\$27,500
<u>METAL FABRICATIONS</u>						
Glass guardrails for third floor interior balcony	48 LF	\$650.00	\$31,200	\$60.00	\$2,880	\$34,080
Rigging and supports for lighting at performance hall	1 LS	\$6,500.00	\$6,500	\$2,500.00	\$2,500	\$9,000
TOTAL DIVISION 5 - METALS			\$53,950	\$16,630	\$70,580	



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RENOVATION DETAIL

DESCRIPTION	QUANTITY	MATERIAL		LABOR		TOTAL
		UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	
DIVISION 6 - WOOD AND PLASTICS						
<u>ROUGH CARPENTRY</u>						
Wood blocking	11,871 SF	\$0.50	\$5,936	\$0.52	\$6,173	\$12,108
2" x 10" wood joists 16" o.c. and 3/4" plywood sheathing at level 1 floor	3,400 SF	\$5.35	\$18,190	\$3.53	\$12,002	\$30,192
Allowance for structural repairs to existing wood framing (assuming 25 of existing floor structure to be repaired)	2,118 SF	\$7.35	\$15,567	\$8.60	\$18,215	\$33,782
Allowance for wood stair repairs	1 ALLOW	\$10,000.00	\$10,000	\$15,000.00	\$15,000	\$25,000
Raised wood platform at performance hall	795 SF	\$7.00	\$5,565	\$3.53	\$2,806	\$8,371
Interior wood stud partitions	6,745 SF	\$1.70	\$11,467	\$1.45	\$9,780	\$21,247
Exterior wood stud partitions at elevator enclosure	521 SF	\$2.10	\$1,094	\$1.49	\$776	\$1,870
<u>FINISH CARPENTRY</u>						
Wood handrails	200 LF	\$23.55	\$4,710	\$12.69	\$2,538	\$7,248
Millwork allowance	1 LS	\$40,000.00	\$40,000	\$6,750.00	\$6,750	\$46,750
TOTAL DIVISION 6 - WOOD AND PLASTICS			\$112,528	\$74,041	\$186,569	
DIVISION 7 - THERMAL & MOISTURE PROTECTION						
<u>THERMAL INSULATION</u>						
Rigid wall insulation at elevator enclosure	521 SF	\$2.18	\$1,136	\$0.77	\$401	\$1,537
Batt insulation at elevator enclosure	521 SF	\$1.15	\$599	\$0.24	\$125	\$724
<u>AIR / VAPOR BARRIER</u>						
Weather barrier at elevator enclosure	521 SF	\$3.75	\$1,954	\$2.27	\$1,183	\$3,136
<u>ROOFING</u>						
Roofing allowance at new elevator enclosure (75 sf)	1 LS	\$2,500.00	\$2,500	\$2,880.00	\$2,880	\$5,380
<u>WATERPROOFING</u>						
Waterproof basement walls - modified with drainage board	1,688 SF	\$10.00	\$16,880	\$3.15	\$5,317	\$22,197
Thru wall flashing at existing walls	300 LF	\$35.00	\$10,500	\$28.15	\$8,445	\$18,945



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		UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	
<u>JOINT SEALANTS / EXPANSION CONTROL</u>						
Miscellaneous firestop and caulk	11,871 SF	\$0.25	\$2,968	\$0.43	\$5,105	\$8,072
TOTAL DIVISION 7 - THERMAL & MOISTURE PROTECTION			\$36,536	\$23,456	\$59,992	
DIVISION 8 - OPENINGS						
<u>EXTERIOR DOORS AND WINDOWS</u>						
Historical quality, single-hung windows with insulating glass and hardware - high end	1,826 SF	\$315.00	\$575,190	\$115.00	\$209,990	\$785,180
Exterior storefront	206 SF	\$60.00	\$12,360	\$34.09	\$7,023	\$19,383
Hollow metal frames, flush hollow metal doors, hardware and paint						
- Single	2 EA	\$2,100.00	\$4,200	\$360.00	\$720	\$4,920
Historical quality wood framed entrance door with glass lites, hardware and finish						
- Pair	2 EA	\$12,000.00	\$24,000	\$1,920.00	\$3,840	\$27,840
<u>INTERIOR DOORS AND WINDOWS</u>						
Wood-cased flush wood doors, casing trim to match existing, hardware and finish						
- Single	22 EA	\$3,400.00	\$74,800	\$480.00	\$10,560	\$85,360
- Single - rated	9 EA	\$6,400.00	\$57,600	\$720.00	\$6,480	\$64,080
- Pair	1 EA	\$5,400.00	\$5,400	\$720.00	\$720	\$6,120
- Pair - rated	1 EA	\$9,000.00	\$9,000	\$960.00	\$960	\$9,960
TOTAL DIVISION 8 - OPENINGS			\$762,550	\$240,293	\$1,002,843	
DIVISION 9 - FINISHES						
<u>GYPSUM WALLBOARD ASSEMBLIES</u>						
5/8" gypsum wallboard to wood stud framing	13,688 SF	\$0.85	\$11,635	\$2.31	\$31,619	\$43,254



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		UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	
Skim coat existing plaster walls (assumes 20% of existing plater walls levels 2-3)	3,372 SF	\$1.00	\$3,372	\$3.41	\$11,499	\$14,871
Miscellaneous patching	1 LS	\$5,000.00	\$5,000	\$7,500.00	\$7,500	\$12,500
3" sound attenuation insulation	13,688 SF	\$0.95	\$13,004	\$0.38	\$5,201	\$18,205
Add for cement backer board (per side)	2,440 SF	\$1.26	\$3,074	\$0.76	\$1,854	\$4,929
Add for two additional layers of gypsum wallboard at existing performance hall walls	3,441 SF	\$1.70	\$5,850	\$4.14	\$14,246	\$20,095
Suspended metal grid and 5/8" gypsum wallboard ceiling	1,673 SF	\$4.27	\$7,144	\$5.57	\$9,319	\$16,462
FLOORS						
Prep floors	9,605 SF	\$0.29	\$2,785	\$0.60	\$5,763	\$8,548
Hardwood flooring	7,280 SF	\$10.00	\$72,800	\$4.54	\$33,051	\$105,851
Wood base	1,629 LF	\$12.75	\$20,770	\$6.61	\$10,768	\$31,537
Static dissipative tile	1,481 SF	\$7.50	\$11,108	\$2.65	\$3,925	\$15,032
Rubber base	510 LF	\$1.15	\$587	\$1.54	\$785	\$1,372
Ceramic tile - mudset	625 SF	\$18.00	\$11,250	\$16.00	\$10,000	\$21,250
Ceramic tile base	244 LF	\$8.00	\$1,952	\$6.00	\$1,464	\$3,416
Resinous epoxy flooring with integral base	219 SF	\$12.00	\$2,628	\$8.18	\$1,791	\$4,419
WALLS						
Paint gypsum wallboard / plaster walls	29,412 SF	\$0.65	\$19,118	\$0.70	\$20,588	\$39,706
Ceramic tile wall	2,440 SF	\$12.00	\$29,280	\$7.67	\$18,715	\$47,995
Acoustic wall panel allowance at performance hall	1,721 SF	\$20.50	\$35,281	\$3.65	\$6,282	\$41,562
CEILINGS						
Suspended metal grid and 24" x 24" lay-in acoustic tile	7,932 SF	\$5.25	\$41,643	\$2.61	\$20,703	\$62,346
Premium for high NRC baffle / acoustic paneling at performance hall ceiling	4,000 SF	\$45.00	\$180,000	\$4.00	\$16,000	\$196,000
Paint gypsum wallboard ceilings	1,673 SF	\$0.55	\$920	\$0.65	\$1,087	\$2,008
TOTAL DIVISION 9 - FINISHES			\$479,199		\$232,160	\$711,359



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DESCRIPTION	QUANTITY	MATERIAL		LABOR		TOTAL
		UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	
DIVISION 10 - SPECIALTIES						
Toilet accessory allowance						
- Single restroom	4 EA	\$750.00	\$3,000	\$360.00	\$1,440	\$4,440
- Group restroom	2 EA	\$1,350.00	\$2,700	\$600.00	\$1,200	\$3,900
Solid phenolic toilet partitions						
- ADA	2 EA	\$1,150.00	\$2,300	\$240.00	\$480	\$2,780
- Standard	5 EA	\$950.00	\$4,750	\$180.00	\$900	\$5,650
Miscellaneous specialties allowance (wall protection / room signage / display specialties)	1 ALLOW	\$25,000.00	\$25,000	\$15,000.00	\$15,000	\$40,000
TOTAL DIVISION 10 - SPECIALTIES			\$37,750	\$19,020	\$56,770	
DIVISION 11 - EQUIPMENT						
Warming kitchen allowance	1 ALLOW	\$7,500.00	\$7,500	\$1,920.00	\$1,920	\$9,420
TOTAL DIVISION 11 - EQUIPMENT			\$7,500	\$1,920	\$9,420	
DIVISION 12 - FURNISHINGS						
Window roller shades	1,826 SF	\$21.00	\$38,346	\$1.36	\$2,483	\$40,829
Fixed seating at balcony space	32 EA	\$750.00	\$24,000	\$160.00	\$5,120	\$29,120
TOTAL DIVISION 12 - FURNISHINGS			\$62,346	\$7,603	\$69,949	
DIVISION 14 - CONVEYING						
Single entry 2500 lb hydraulic machine roomless elevator (3 stops)	1 LS	\$125,000.00	\$125,000	\$75,000.00	\$75,000	\$200,000



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		UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	
Cab finish allowance	1 LS	\$10,000.00	\$10,000	\$1,920.00	\$1,920	\$11,920
TOTAL DIVISION 14 - CONVEYING			\$135,000	\$76,920	\$211,920	
DIVISION 21 - FIRE PROTECTION						
West sprinkler system	10,786 SF	\$3.00	\$32,358	\$3.50	\$37,751	\$70,109
TOTAL DIVISION 21 - FIRE PROTECTION			\$32,358	\$37,751	\$70,109	
DIVISION 22 - PLUMBING						
<u>DEMOLITION</u>						
Plumbing removals (e.g. water heating equipment, fixtures, piping, etc.)	1 LS	\$2,500.00	\$2,500	\$7,300.00	\$7,300	\$9,800
<u>EQUIPMENT</u>						
Domestic water heating equipment, reduced pressure zone backflow preventor, water meter, etc.	1 ALLOW	\$35,000.00	\$35,000	\$8,760.00	\$8,760	\$43,760
<u>PLUMBING FIXTURES</u>						
Water closets, wall mounted, sensor flush valve	11 EA	\$1,450.00	\$15,950	\$584.00	\$6,424	\$22,374
Urinal, sensor flush valve	1 EA	\$1,300.00	\$1,300	\$511.00	\$511	\$1,811
Wall lavatories, sensor faucet	9 EA	\$1,350.00	\$12,150	\$511.00	\$4,599	\$16,749
Janitor closet mop service basin including faucet, trim and accessories	1 EA	\$1,500.00	\$1,500	\$511.00	\$511	\$2,011
Dual level electric water cooler including bottle fill station - estimated at 1 per floor	3 EA	\$2,300.00	\$6,900	\$584.00	\$1,752	\$8,652
<u>PIPING SYSTEMS INCLUDING PIPE FITTINGS AND PIPE HANGER ASSEMBLIES</u>						
Sanitary waste and vent piping - per fixture	25 EA	\$1,000.00	\$25,000	\$1,168.00	\$29,200	\$54,200
Insulated domestic water piping - per fixture	25 EA	\$1,000.00	\$25,000	\$1,168.00	\$29,200	\$54,200
Natural gas piping to serve domestic water heater	1 LS	\$1,500.00	\$1,500	\$2,336.00	\$2,336	\$3,836



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		UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	
SPECIALTIES						
Floor drains including deep seal p-trap and trap seal, water hammer arrestors, sanitary vent - thru - roof assemblies, cleanout assemblies, etc.	1 LS	\$8,000.00	\$8,000	\$7,300.00	\$7,300	\$15,300
MISCELLANEOUS						
Material handling, cleaning, testing, sanitizing, labelling and identification, cut, patch and firestop	1 LS	\$5,000.00	\$5,000	\$14,600.00	\$14,600	\$19,600
TOTAL DIVISION 22 - PLUMBING			\$139,800	\$112,493	\$252,293	
DIVISION 23 - HVAC						
DEMOLITION						
HVAC removals (e.g. oil fired steam boiler system, steam radiators, court room split cooling systems, multizone heat pump VRF systems, 3rd floor ducted mini-split system, restroom exhaust fans, etc.)	1 LS	\$3,500.00	\$3,500	\$11,680.00	\$11,680	\$15,180
EQUIPMENT						
Theatre split air source heat pump heating and cooling systems equipment, 7-ton cooling capacity each - including indoor ducted unit with electric backup heating coil and outdoor air source heat pump unit	2 EA	\$28,000.00	\$56,000	\$2,336.00	\$4,672	\$60,672
Variable refrigerant flow (VRF) heating and cooling systems to serve remainder of building spaces						
- Outdoor VRF units - estimated	2 EA	\$20,000.00	\$40,000	\$1,752.00	\$3,504	\$43,504
- Indoor VRF fan coil units - estimated	19 EA	\$3,000.00	\$57,000	\$876.00	\$16,644	\$73,644
- Refrigerant branch controller units - estimated	4 EA	\$3,500.00	\$14,000	\$584.00	\$2,336	\$16,336
- VRF central controller	1 EA	\$15,000.00	\$15,000	\$1,168.00	\$1,168	\$16,168
Indoor ducted energy recovery ventilator (ERV), 1000 cfm, including heat pump heating and cooling direct expansion refrigerant coil, outdoor at-grade air source heat pump unit	1 EA	\$45,000.00	\$45,000	\$3,504.00	\$3,504	\$48,504



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		UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	
Electric heaters with integral thermostat controls (for mechanical rooms, green room, dressing room, perimeter restrooms, etc.)	13 EA	\$1,500.00	\$19,500	\$544.00	\$7,072	\$26,572
Electric cabinet unit heaters for vestibules and stairs, integral thermostat controls	6 EA	\$2,500.00	\$15,000	\$680.00	\$4,080	\$19,080
<u>PIPING SYSTEMS INCLUDING PIPE FITTINGS AND PIPE HANGER ASSEMBLIES</u>						
Insulated direct expansion refrigerant piping systems						
- Theatre split air source heat pump systems	2 EA	\$2,000.00	\$4,000	\$2,336.00	\$4,672	\$8,672
- VRF system (2 outdoor units, 19 indoor fan coil units, 4 refrigerant branch controller units)	25 EA	\$1,000.00	\$25,000	\$1,168.00	\$29,200	\$54,200
- ERV split air source heat pump system	1 EA	\$2,000.00	\$2,000	\$2,336.00	\$2,336	\$4,336
Insulated condensate drain piping systems including p-trap						
- Theatre split air source heat pump system indoor ducted units	2 EA	\$250.00	\$500	\$300.00	\$600	\$1,100
- VRF system (19 indoor fan coil units, 4 refrigerant branch controller units)	23 EA	\$150.00	\$3,450	\$200.00	\$4,600	\$8,050
- ERV split air source heat pump system	1 EA	\$250.00	\$250	\$300.00	\$300	\$550
<u>SHEET METAL WORK</u>						
Galvanized steel ductwork including duct fittings, duct hanger assemblies, shop fabrication, field installation, duct sealing - estimated						
	8,000 LB	\$3.88	\$31,040	\$7.14	\$57,120	\$88,160
Air inlets and outlets - estimated	50 EA	\$200.00	\$10,000	\$102.00	\$5,100	\$15,100
<u>INSULATION</u>						
Ductwork insulation - estimated	6,000 SF	\$1.50	\$9,000	\$3.55	\$21,300	\$30,300
<u>CONTROLS</u>						
Local controls for equipment						
- Theatre split air source heat pump heating and cooling systems	2 EA	\$2,000.00	\$4,000	\$2,336.00	\$4,672	\$8,672
- Indoor ducted energy recovery ventilator (ERV), including heat pump heating and cooling direct expansion refrigerant coil, outdoor at-grade air source heat pump unit	1 EA	\$2,500.00	\$2,500	\$2,920.00	\$2,920	\$5,420



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VRF controls						
- Provide control wiring between VRF central controller and VRF equipment (e.g. 2 outdoor units, 19 indoor fan coil units, 4 refrigerant branch controller units)	25 EA	\$250.00	\$6,250	\$584.00	\$14,600	\$20,850
<u>TESTING, ADJUSTING AND BALANCING</u>						
Testing, adjusting and balancing	1 LS	\$0.00	\$0	\$11,680.00	\$11,680	\$11,680
<u>MISCELLANEOUS</u>						
Material handling, lifting, rigging and hoisting	1 LS	\$5,000.00	\$5,000	\$5,840.00	\$5,840	\$10,840
Cleaning	1 LS	\$1,000.00	\$1,000	\$2,336.00	\$2,336	\$3,336
Labeling and identification	1 LS	\$1,000.00	\$1,000	\$3,504.00	\$3,504	\$4,504
Cut, patch and firestop	1 LS	\$2,500.00	\$2,500	\$8,760.00	\$8,760	\$11,260
TOTAL DIVISION 23 - HVAC			\$372,490	\$234,200	\$606,690	
DIVISION 26 - ELECTRICAL						
<u>DEMOLITION</u>	11,871 SF	\$0.50	\$5,936	\$1.00	\$11,871	\$17,807
<u>TEMPORARY POWER AND LIGHT</u>	11,871 SF	\$0.40	\$4,748	\$0.75	\$8,903	\$13,652
<u>DISTRIBUTION</u>						
Electrical distribution system including 800 amp 208/120v main distribution panel, branch circuit panelboards, feeders, and grounding	11,871 SF	\$5.00	\$59,355	\$3.25	\$38,581	\$97,936
<u>LIGHTING</u>						
Energy efficient LED lighting throughout building including exit signage, automatic and manual controls, conduit, and circuiting	11,871 SF	\$12.50	\$148,388	\$7.50	\$89,033	\$237,420
<u>WIRING DEVICES / BRANCH CIRCUITS</u>						
Power receptacles throughout building including junction boxes, EMT conduit pathways, and branch circuit wiring - provide GFI protection as required	11,871 SF	\$2.25	\$26,710	\$4.25	\$50,452	\$77,162



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		UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	
<u>EQUIPMENT CONNECTIONS</u>						
Mechanical, plumbing, and miscellaneous equipment connections including means of disconnect, conduit, and circuiting back to source power panels	11,871 SF	\$1.75	\$20,774	\$3.75	\$44,516	\$65,291
<u>THEATRICAL LIGHTING AND SOUND</u>						
Electrical and low voltage serving theatrical power systems, lighting systems and sound systems including infrastructure pathways, circuiting, cabling, testing and commissioning - head-end equipment, devices and lighting by others	1 ALLOW	\$50,000.00	\$50,000	\$50,000.00	\$50,000	\$100,000
<u>COMMUNICATIONS</u>						
Data closet upgrades to support new data drops including patch panels and cable management	1 LS	\$3,500.00	\$3,500	\$5,568.00	\$5,568	\$9,068
Communications and WAP outlets throughout including jacks, cable supports, cabling, terminations, and testing	11,871 SF	\$2.00	\$23,742	\$3.25	\$38,581	\$62,323
<u>AUDIO/VIDEO</u>						
Audio / video components at select building locations including equipment, displays, devices, infrastructure, and cabling	1 ALLOW	\$37,500.00	\$37,500	\$37,500.00	\$37,500	\$75,000
<u>PUBLIC ADDRESS</u>						
Building wide public address system including head-end rack / software, speakers, control devices, infrastructure, and cabling	11,871 SF	\$0.85	\$10,090	\$0.75	\$8,903	\$18,994
<u>SECURITY</u>						
Access control and video surveillance at select building locations including head-end control equipment, cameras, devices, infrastructure, and cabling	11,871 SF	\$2.00	\$23,742	\$2.00	\$23,742	\$47,484
<u>FIRE ALARM</u>						
Building wide addressable fire alarm system including control and annunciator panels, initiation and notification devices, conduit, circuiting, testing, and programming	11,871 SF	\$2.50	\$29,678	\$2.50	\$29,678	\$59,355
<u>MISCELLANEOUS</u>						
Cutting, patching, firestopping, coring, and sealing	1 LS	\$3,500.00	\$3,500	\$3,000.00	\$3,000	\$6,500



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		UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	
Lift / equipment rental	1 LS	\$15,000.00	\$15,000	\$0.00	\$0	\$15,000
TOTAL DIVISION 26 - ELECTRICAL			\$462,662		\$440,327	\$902,989



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SITE WORK

DESCRIPTION	QUANTITY	MATERIAL		LABOR		TOTAL
		UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	
DIVISION 31 - EARTHWORK						
<u>SITE PREP</u>						
Allowance to remove site railing and amenities	1 LS	\$500.00	\$500	\$4,320.00	\$4,320	\$4,820
Allowance for removal of deteriorated concrete elements	1 LS	\$1,000.00	\$1,000	\$4,320.00	\$4,320	\$5,320
Regrade front lawn for positive drainage	1 LS	\$15,000.00	\$15,000	\$15,000.00	\$15,000	\$30,000
TOTAL DIVISION 31 - EARTHWORK			\$16,500		\$23,640	\$40,140
DIVISION 32 - SITE IMPROVEMENTS						
<u>SITE CONCRETE / PAVING</u>						
Paving / hardscape allowance	1 LS	\$24,000.00	\$24,000	\$15,400.00	\$15,400	\$39,400
Miscellaneous concrete restoration for pedestrian access	1 ALLOW	\$7,500.00	\$7,500	\$8,640.00	\$8,640	\$16,140
<u>SITE FURNISHINGS</u>						
Site furnishings allowance	1 LS	\$7,500.00	\$7,500	\$1,920.00	\$1,920	\$9,420
Allowance to relocate historical markers, including foundation work (per marker)	2 EA	\$5,000.00	\$10,000	\$12,960.00	\$25,920	\$35,920
Allowance to remove and send out historical monuments and charters of freedom (per item)	3 EA					Scope NIC
<u>LANDSCAPE</u>						
Furnish 6" topsoil and sod	1 ALLOW	\$5,730.00	\$5,730	\$2,062.00	\$2,062	\$7,792
TOTAL DIVISION 32 - SITE IMPROVEMENTS			\$54,730		\$53,942	\$108,672
DIVISION 33 - SITE UTILITIES						
<u>SITE UTILITIES</u>						
Allowance for new and modified utility service to building	1 LS	\$30,000.00	\$30,000	\$20,000.00	\$20,000	\$50,000



COURTHOUSE REVITALIZATION INTO
CULTURAL AND COMMUNITY CENTER
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MARSHALL, NC
CPL ARCHITECTURE, ENGINEERING
AND PLANNING

PROJECT NO: TR-20260150
FEASIBILITY STUDY ESTIMATE
PUBLISHED: 06/05/2026
REVISION 1: 06/11/2026

SITE WORK

DESCRIPTION	QUANTITY	MATERIAL		LABOR		TOTAL
		UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	
Allowance for a water mitigation system via grading / drainage / structure at north side of the building - to be determined	1 LS	\$60,000.00	\$60,000	\$40,000.00	\$40,000	\$100,000
SITE DISTRIBUTION						
Incoming 800 amp electrical service including Utility Company fees / coordination, below grade conduit, circuiting, and earthwork	1 ALLOW	\$37,500.00	\$37,500	\$37,500.00	\$37,500	\$75,000
SITE LIGHTING						
LED pole mounted and walkway lighting including concrete bases, grounding, controls, below grade conduit, circuiting, and earthwork	1 ALLOW	\$32,500.00	\$32,500	\$32,500.00	\$32,500	\$65,000
TOTAL DIVISION 33 - SITE UTILITIES			\$160,000	\$130,000	\$290,000	
SUB-TOTAL			\$231,230	\$207,582	\$438,812	
GENERAL CONDITIONS	12.0%					\$52,657
OVERHEAD AND PROFIT	10.0%					\$49,147
DESIGN CONTINGENCY	20.0%					\$108,123
BID CONTINGENCY	5.0%					\$32,437
ESCALATION (TO MID-POINT JUL-2028)	10.2%					\$69,480
TOTAL SITE WORK						\$750,657



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ALTERNATES & OPTIONS

DESCRIPTION	QUANTITY	MATERIAL		LABOR		TOTAL
		UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	
OPTION #1 - INFILL BASEMENT AND CRAWLSPACE WITH FLOWABLE FILL						
GENERAL CONSTRUCTION						
<u>ADD</u>						
Flowable fill	713 CY	\$200.00	\$142,600	\$16.88	\$12,035	\$154,635
Pump truck	1 LS	\$5,000.00	\$5,000	\$0.00	\$0	\$5,000
SUB-TOTAL			\$147,600		\$12,035	\$159,635
GENERAL CONDITIONS	12.0%					\$19,156
OVERHEAD AND PROFIT	10.0%					\$17,879
DESIGN CONTINGENCY	20.0%					\$39,334
BID CONTINGENCY	5.0%					\$11,800
ESCALATION (TO MID-POINT JUL-2028)	10.2%					\$25,276
TOTAL OPTION #1 - INFILL BASEMENT AND CRAWLSPACE WITH FLOWABLE FILL						\$273,081
OPTION #2 - INFILL BASEMENT AND CRAWLSPACE WITH GEOFOAM						
GENERAL CONSTRUCTION						
<u>ADD</u>						
Geofoam infill	713 CY	\$394.00	\$280,922	\$49.68	\$35,422	\$316,344
SUB-TOTAL			\$280,922		\$35,422	\$316,344
GENERAL CONDITIONS	12.0%					\$37,961
OVERHEAD AND PROFIT	10.0%					\$35,431
DESIGN CONTINGENCY	20.0%					\$77,947
BID CONTINGENCY	5.0%					\$23,384
ESCALATION (TO MID-POINT JUL-2028)	10.2%					\$50,089
TOTAL OPTION #2 - INFILL BASEMENT AND CRAWLSPACE WITH GEOFOAM						\$541,156